

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
SEPTEMBER 22, 2014**

AGENDA

1. Call to Order.
2. Roll Call.
3. Correspondence.
4. Citizen Comments.
5. New Business.
 - A. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #14-14** for the request of Mark Eberle of Nielsen Madsen and Barber, agent for the following **amendments to the Village of Pleasant Prairie 2035 Comprehensive Plan** related to The Addison of Pleasant Prairie, a proposed senior living facility with 96 units on the vacant 9 acre property generally located south of Prairie Ridge Blvd. and east of 97th Court within the Prairie Ridge development: 1) to amend the Village 2035 Land Use Plan Map 9.9 to remove the urban reserve land use designation from the property to ensure that both the Zoning Map and the Comprehensive Land Use Plan are consistent; and 2) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.
 - B. Consider the request of Mark Milliman on behalf of Quest Products, Inc. for approval of **Site and Operational Plans** for Quest Products to occupy the building located at 8201 104th Street in LakeView Corporate Park for their headquarters, warehousing, distribution and some assembly and packaging of consumer products.
 - C. Consider the request of Travis Morton, agent for Costco Wholesale Corporation for approval of **Site and Operational Plans including the Digital Security Imaging System Agreement and Access Easement** for the proposed Costco and associated gasoline facility on the property generally located at the southeast corner of 76th Street and 94th Avenue in the Prairie Ridge development.
6. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

- A. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #14-14** for the request of Mark Eberle of Nielsen Madsen and Barber, agent for the following **amendments to the Village of Pleasant Prairie 2035 Comprehensive Plan** related to The Addison of Pleasant Prairie, a proposed senior living facility with 96 units on the vacant 9 acre property generally located south of Prairie Ridge Blvd. and east of 97th Court within the Prairie Ridge development: 1) to amend the Village 2035 Land Use Plan Map 9.9 to remove the urban reserve land use designation from the property to ensure that both the Zoning Map and the Comprehensive Land Use Plan are consistent; and 2) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

Recommendation: Village staff recommends that the Plan Commission approve **Plan Commission Resolution #14-14** as presented.

VILLAGE STAFF REPORT OF SEPTEMBER 22, 2014

CONSIDERATION OF PLAN COMMISSION RESOLUTION #14-14 for the request of Mark Eberle of Nielsen Madsen and Barber, agent for the following **amendments to the Village of Pleasant Prairie 2035 Comprehensive Plan** related to The Addison of Pleasant Prairie, a proposed senior living facility with 96 units on the vacant 9 acre property generally located south of Prairie Ridge Blvd. and east of 97th Court within the Prairie Ridge development: 1) to amend the Village 2035 Land Use Plan Map 9.9 to remove the urban reserve land use designation from the property to ensure that both the Zoning Map and the Comprehensive Land Use Plan are consistent; and 2) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

On September 8, 2014, the Village Plan Commission conditionally approved the development plans for the vacant property located at the southeast corner of Prairie Ridge Blvd. and 97th Court including a Zoning Map and Text Amendment for the development of The Addison of Pleasant Prairie. In order for the Zoning Map and the Comprehensive Land Use Plan to be consistent the Village 2035 Land Use Plan, Map 9.9 is proposed to be amended to remove the urban reserve land use designation from the property.

Therefore, as outlined in Plan Commission Resolution #14-14 the following amendments are proposed:

1. To amend the Village 2035 Land Use Plan Map 9.9 to remove the urban reserve land use designation from the vacant property located at the southwest corner of Prairie Ridge Blvd. and 97th Ct. (Tax Parcel Number 91-4-122-082-0412) to ensure that both the Zoning Map and the Comprehensive Land Use Plan are consistent; and
2. To update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

Recommendation: Village staff recommends that the Plan Commission approve **Plan Commission Resolution #14-14** as presented.



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors

August 8, 2014

Ms. Jean Werbie - Harris
Village of Pleasant Prairie
9915 – 39th Avenue
Pleasant Prairie, WI 53158

RE: The Addition of Pleasant Prairie
Comprehensive Land Use Plan Amendment &
PUD Dimensional Variance Request
File No. 2013.0027.04

Dear Jean:

Senior Lifestyle Corporation is hereby requesting to amend the Village's Comprehensive Land Use Plan to remove the Urban Land Holding Overlay (UHO) designation from Lot 1 of the pending Certified Survey Map (attached).

In addition, Senior Lifestyles Corporation is requesting a Planned Unit Development (PUD) overlay for the project and three (3) associated "dimensional variances". They are as follows:

- 1) Request a variance from Section 420-116 F.1. (R-11 Multiple Family Residential District) to allow a maximum building height of 44 feet in lieu of the stated maximum of 35 feet.
 - Reason for Variance and Benefit to the Community - Due to the occupancy of the proposed project as a Community Based Residential Facility, additional ceiling space is needed on the first floor to accommodate the required mechanical system. This taken in conjunction with the desire to create an attractive building complimenting the adjacent neighborhood necessitated a design that required a 44 foot height. By granting this height variance the community will benefit from a harmonious and integrated neighborhood design instead of a presently vacant site.

Ms. Jean Werbie - Harris
The Addison of Pleasant Prairie
PUD Dimensional Variance Request
August 8, 2014
Page 2

- 2) Request a variance from Section 420-48 L.1.d.1. (Parking Lot and Circulation Requirements) to allow a zero foot (0') setback from the interior lot line (between phases I and II) in lieu of the required twenty feet (10').
 - Reason for Variance and Benefit to the Community: To allow for an internal shared access drive between the current Phase I project and the proposed Phase II development to the South. Locating the access drive tight to the shared lot line between phases will allow for ingress, egress and internal traffic circulation for residents, visitors, delivery trucks, police, fire and rescue vehicle to both developments.

- 3) Request a variance from Section 420-48 L.1.a. (Parking Lot and Circulation Requirements) to allow a fourteen foot (14') setback from the West right-of-way line in lieu of the required twenty feet (20').
 - Reason for Variance and Benefit to the Community: To allow for connectivity between the rear service drive off of 97th Court and the aforementioned internal access drive listed in 2) above. By installing the drive in this location, access for fire protection around the structure is greatly enhanced.

If you have any questions or comments, please contact me at your earliest convenience.

Sincerely,



Mark D. Eberle, P.E.

MDE/kmw
Enclosure

**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION
RESOLUTION #14-14**

**TO AMEND THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
2035 COMPREHENSIVE PLAN**

WHEREAS, on December 19, 2009 the Village Board adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

WHEREAS, the owners of the vacant property located at the southeast corner of Prairie Ridge Blvd. and 97th Court (Tax Parcel Number 91-4-122-082-0412) in the Prairie Ridge development are requesting the following amendments to the Village 2035 Land Use Plan Map to ensure that the Zoning Map and the land use plan are consistent:

1. to amend the Village 2035 Land Use Plan Map 9.9 to remove the urban reserve land use designation from the property to ensure that both the Zoning Map and the Comprehensive Land Use Plan are consistent; and
2. to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

WHEREAS, on September 22, 2014 the Village Plan Commission held a public hearing to discuss the proposed amendments.

NOW THEREFORE, BE IT RESOLVED, that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby approves the aforementioned amendments to the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan as presented at the September 22, 2014 public hearing.

BE IT FURTHER RESOLVED that the Plan Commission does hereby recommend that the Village Board enact the Ordinance adopting the amendment, as referenced above, to the *Village of Pleasant Prairie 2035 Comprehensive Plan*.

Adopted this 22nd day of September 2014.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

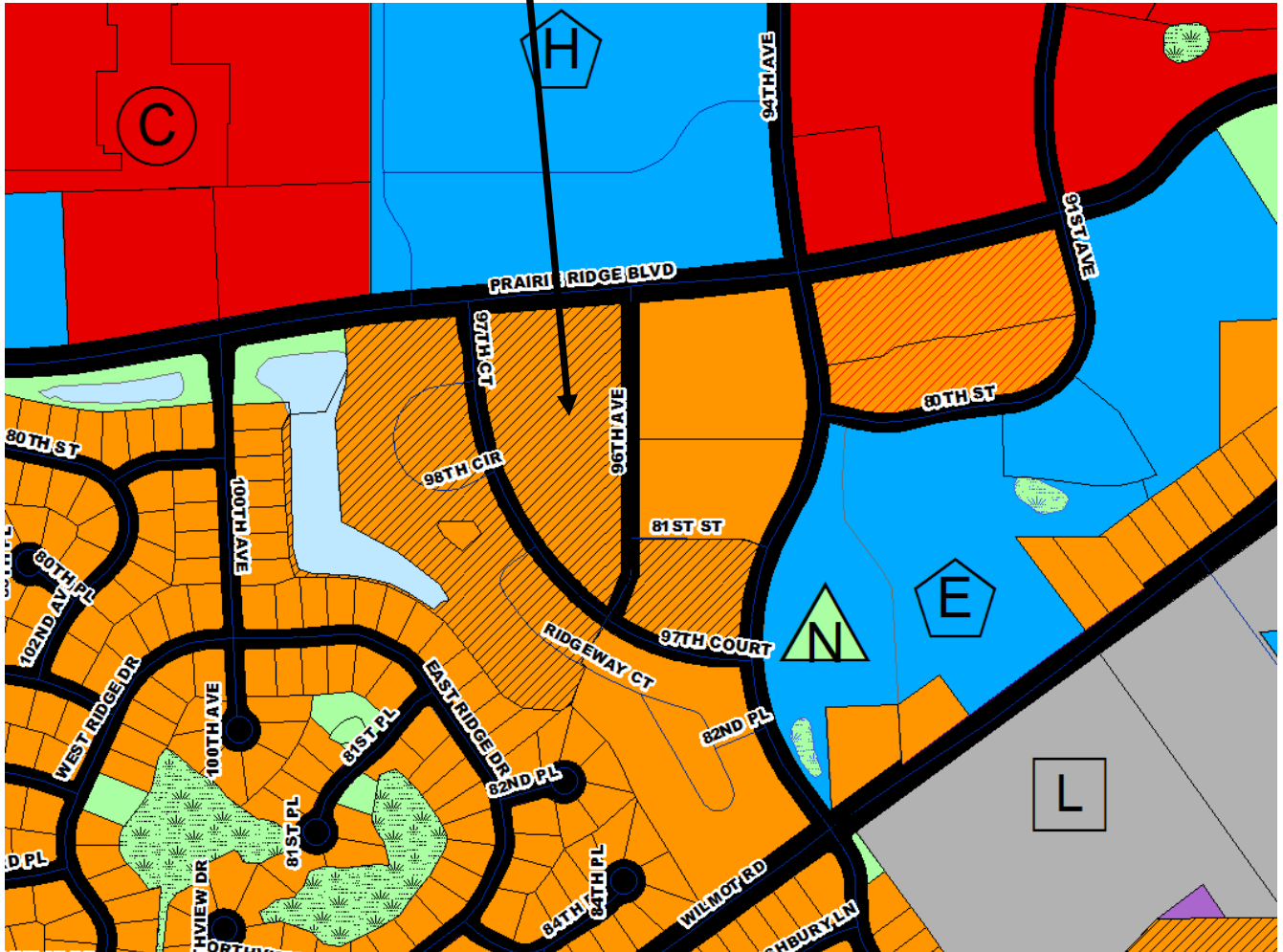
Thomas W. Terwall
Plan Commission Chairman

Donald Hackbarth
Secretary

Date Posted: _____

Comprehensive Land Use Map 9.9 Amendment

To remove the Urban Reserve land use designation from the property-Tax Parcel Number 91-4-122-082-0412. The underlying Upper Medium Density Residential land use designation will remain.



- B. Consider the request of Mark Milliman on behalf of Quest Products, Inc. for approval of **Site and Operational Plans** for Quest Products to occupy the building located at 8201 104th Street in LakeView Corporate Park for their headquarters, warehousing, distribution and some assembly and packaging of consumer products.

Recommendation: Village staff recommends that the Plan Commission approve the **Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of September 22, 2014.

VILLAGE STAFF REPORT OF SEPTEMBER 22, 2014

Consider the request of Mark Milliman on behalf of Quest Products, Inc. for approval of **Site and Operational Plans** for Quest Products to occupy the building located at 8201 104th Street in LakeView Corporate Park for their headquarters, warehousing, distribution and some assembly and packaging of consumer products.

The petitioner is requesting to occupy the entire 44,398 square foot building located at 8201 104th Street for general office/headquarters, warehousing, distribution and some assembly and packaging of consumer products. No raw material manufacturing will occur at this facility. Distribution and warehousing consists of receiving, storing and shipping finished consumer products. Products that will be stored will be in corrugated master cartons on pallets in metal wire based racking.

Quest Products, Inc. is a diverse Consumer Packaged Goods (CPG) company with expertise in owning, launching and building profitable consumer product brands. Quest Products provides turn-key solutions to CPG companies looking to development their product's distribution and sales to all classes of trade. Quest works with varying sizes of CPG companies, from inventors or entrepreneurs beginning start-up brands, to large industry leading CPG manufacturers looking to expand their reach. Quest's unique core competencies allow them to create a turn-key solution and drive new and incremental opportunities in sales for their client partners.

The property is zoned M-2, General Manufacturing District and no exterior site modifications other than a change in the monument sign are proposed. Pursuant to the application the warehouse and distribution area is classified as Occupancy Type Storage Group S-2 (Low hazard) pursuant of the Chapter 3 of the 2006 International Commercial Code. Therefore this use is a permitted use in the M-2 District.

A total of 28 full time employees will be employed on site between the hours of 7:30 am and 6:30 p.m., Monday through Friday. The site has 107 existing parking spaces including handicapped accessible parking spaces which will provide the adequate parking for the 28 employees. It is anticipated that there will be 20 truck trips to and from the site daily.

Village staff recommends conditional approval of the Site and Operational Plans subject to the above comments and the following conditions.

1. Identify/Label on the submitted floor plans which floor (1st or 2nd) of the office space is being represented by the floor plans.
2. With this application, it appears that Quest Products is only occupying the second floor office space as well as the entire warehouse space. Need to indicate the intended use/future use of the first floor office space. Are you intending to lease out the vacant space not intending to be occupy? Please comment
3. Permits shall be obtained for the change in tenant and the sign modifications. Permits for the sign changes have been submitted. Prior to occupancy permit to reface/change the Primary Monument Signs shall be obtained and the signs modified.
4. Compliance with the ***attached*** conditions of the attached memorandum dated September 10, 2014 from the Village Fire & Rescue Department. ***Pursuant to condition #1 a letter shall be submitted to the Fire & Rescue Department prior to obtaining building permits stating that the project will comply with all requirements of this memo. A copy of this letter shall also be provided to the Community Development Department.***

5. Compliance with the **attached** comments dated September 11, 2014 from the Village Building Inspection Department.
6. The site and building shall be maintained (e.g. parking lot adequately striped, landscaping kept in good condition, etc.).
7. There shall be employee/visitor parking permitted on 82nd Avenue or 104th Street (STH 165). On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.
8. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked on-site may be issued municipal citations.
9. The owner shall comply with all provisions of the conditional Site & Operational Plan approval, including compliance with the Village Performance Standards.
10. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
11. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped/turf areas.
12. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
13. There shall be no long-term semi-truck/trailer or box truck parking permitted on the site that is not used in the daily operations of the facility.
14. There shall be no outdoor storage of raw materials, display of materials, goods or equipment, racking, pallets or other materials on this site, unless as approved by the Village.
15. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, racking, etc., is prohibited.
16. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
17. Prior to occupancy each handicapped parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.



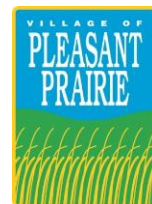
VILLAGE STAFF MEMORANDUM

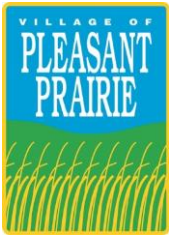
TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Deputy Chief, Craig Roepke
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for Quest Products to occupy
Building at 8201 104th St.
DATE: September 10, 2014

This is a review for storage in the 8201 104th St. facility. Quest Products will be taking 44,398 square feet of an existing building.

Fire and Rescue Department comments are based on the information given by Uline.

1. A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
2. A Wisconsin Licensed Sprinkler Designer must sign off on the racking and storage design taking into consideration the product and packaging materials that are going to be stored in the racks. A letter from the sprinkler designer with his stamp will be adequate documentation of proper coverage.
3. Product storage shall only be what was submitted for review.
4. Keyholder information must be submitted to the Fire and Rescue Department.
5. Two sets of all building keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within each Knox box.
6. All fire protection systems must be in place, up to date, and operational with current annual testing completed. This includes Fire sprinkler, fire alarm, fire extinguishers.
7. An additional inspection shall be conducted after there is storage in place to confirm proper location, heights and arraignments.
8. MSDS sheets shall be submitted for all products and chemicals.
9. Occupancy permit fee will apply, fee will be: \$ 125.00.





Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director
From: Sandro Perez, Building Inspection Superintendent
Subject: Site & Op's review for Quest Products
Date: September 11, 2014

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance. We have 10 business days to review and issue permits please plan accordingly.
5. We inspect to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. Please submit emergency egress path / lighting plan. Provide minimum foot candles and required exit signs.
7. Fire alarm systems require two permits and two inspections, one from the Fire Department and one from the Building Inspection Department.
8. VOPP recommends all exterior lot and building lighting to be LED and Dark Sky compliant.
9. Any tradesmen requiring state license will be "carded" on the jobsite for compliance.
10. All equipment must be "LISTED" by a nationally recognized testing laboratory.
11. All equipment, materials, etc. must be rated for the environment in which they will be used.



RECEIVED
AUG 26 2014

VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN **Village of Pleasant Prairie**
AND CONDITIONAL USE PERMIT ZONING APPLICATION

USE THIS FORM FOR:
Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a new or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	8/26 2014
Preliminary Determination of Completeness on:	8/28 2014
Revised Plans Submitted:	20
<input type="checkbox"/> Public Hearing Required: Hearing Date:	20
Published on: and	20 Notices sent on: 20
Approved by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20
Denied by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: Quest Products, Inc

SITE ADDRESS: 8201 104th St. Pleasant Prairie, WI 53158

BRIEF PROJECT DESCRIPTION: Quest Products, Inc is looking for occupancy at above address and permits to install racking in the warehouse. This is an existing building.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 28

PROPOSED NUMBER OF PART-TIME EMPLOYEES: —

SITE SIZE: 202990 sq. ft. 4.66 acres

PROPOSED BUILDING SIZE: 44,398 sq.ft. HEIGHT: 24 ft.

PROPOSED ADDITION SIZE: _____ sq.ft. HEIGHT: _____ ft.

LEGAL DESCRIPTION: Parcel 62 of cert survey map #1861 recorded 12-19-95 as Doc # 1010079 being a revision of parcel 45 of cert survey map #1631 in NE 1/4 an NW 1/4 of Section 28 Town 1 North Range 22 East Village Pleasant Prairie County Kenosh State Wisconsin

TAX PARCEL NUMBER(S): 92-4-122-282-0125

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: Commercial M-2

- Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
- Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) 20,000 sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: 35.

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? _____

Section 2: Existing Uses and Buildings on the site: The current use for the building located at 8201 104th Street in Pleasant Prairie is office, warehousing, distribution, assembly and packaging. The use for the building will remain the same.

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - If no then skip to Section 5.
 - If yes, then continue with this Section.
2. **Are you amending an existing Conditional Use Permit?** YES NO
 - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - If no, then skip to Section 7.
 - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I, (We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: Quest 8201, LLC
(Please Print)

Signature: [Signature]

Address: 8201 104TH ST.

Pleasant Prairie WI 53158
(City) (State) (Zip)

Phone: 847-693-2747

Fax: 847-693-2741

E-mail: mark@questproductsinc.com

Date: 8/22/14

APPLICANT: Mark Milliman

Name: Quest Products, Inc
(Please Print)

Signature: [Signature]

Address: 191 Ambrogio Dr.

Gurnee IL 60031
(City) (State) (Zip)

Phone: 847-693-2747

Fax: 847-693-2741

E-mail: mark@questproductsinc.com

Date: 8/22/14

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: _____
(Please Print)

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

E-mail: _____

Date: _____

USER OR OCCUPANT OF SITE:

Name: _____
(Please Print)

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

E-mail: _____

Date: _____



Property Condition Assessment
8201 104th Street
Pleasant Prairie, Wisconsin 53158

Photos taken July 9, 2014
AES Project No. 14004069
Page 1



1) View of the north boundary of the subject property looking west along 104th Street, also labeled state highway 165.



2) View looking south along 82nd Avenue from 104th Street showing the east boundary of the subject property.



Property Condition Assessment
8201 104th Street
Pleasant Prairie, Wisconsin 53158

Photos taken July 9, 2014
AES Project No. 14004069
Page 2



3) View of the west boundary of the subject property looking south from 104th Street.

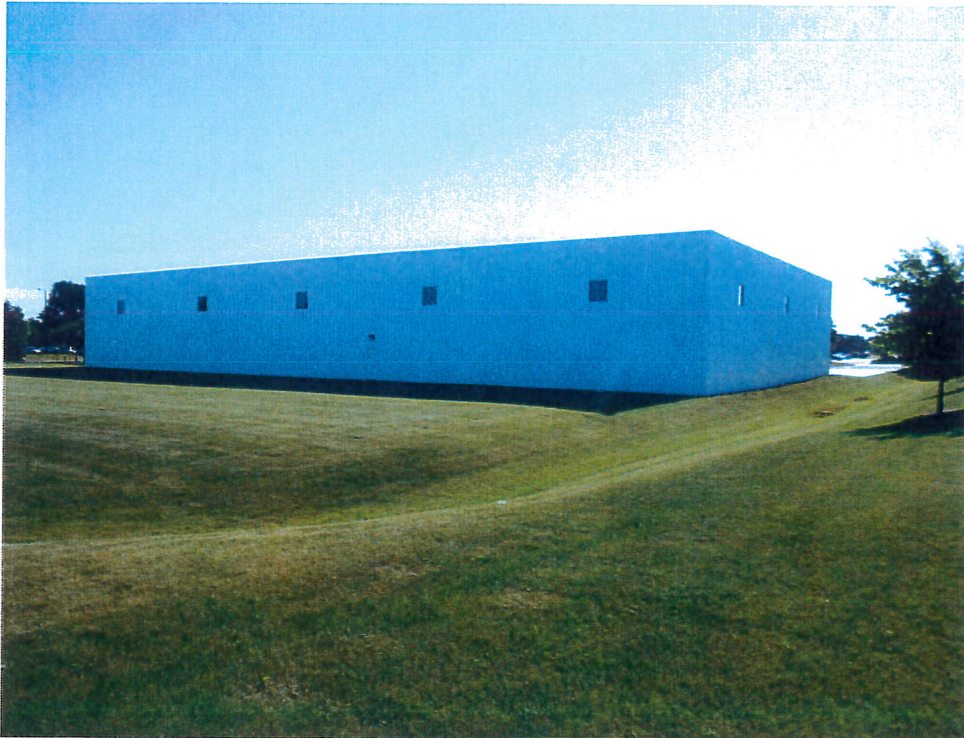
4) View looking north along the west boundary of the subject property from the southwest corner. Note open land west of building for future expansion. Note the drainage swale along the west perimeter.



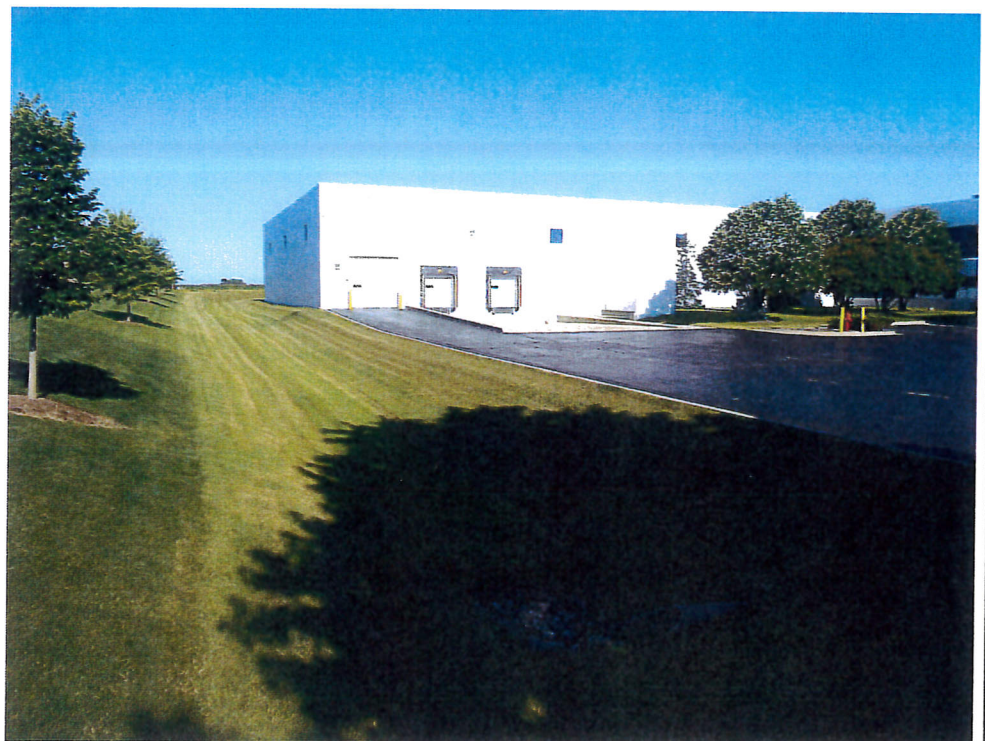


Property Condition Assessment
8201 104th Street
Pleasant Prairie, Wisconsin 53158

Photos taken July 9, 2014
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5) View of the south boundary of the subject property looking northeast from the southwest corner. Note the drainage swale along the south side perimeter.



6) View looking west from 82nd Avenue along the south boundary of the subject property.



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8201 104th Street
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7) View of the east boundary of the subject property looking north along 82nd Avenue from the southeast corner.



8) View looking southwest from the northeast corner of the subject property showing the monument sign in the foreground and the building in the background.



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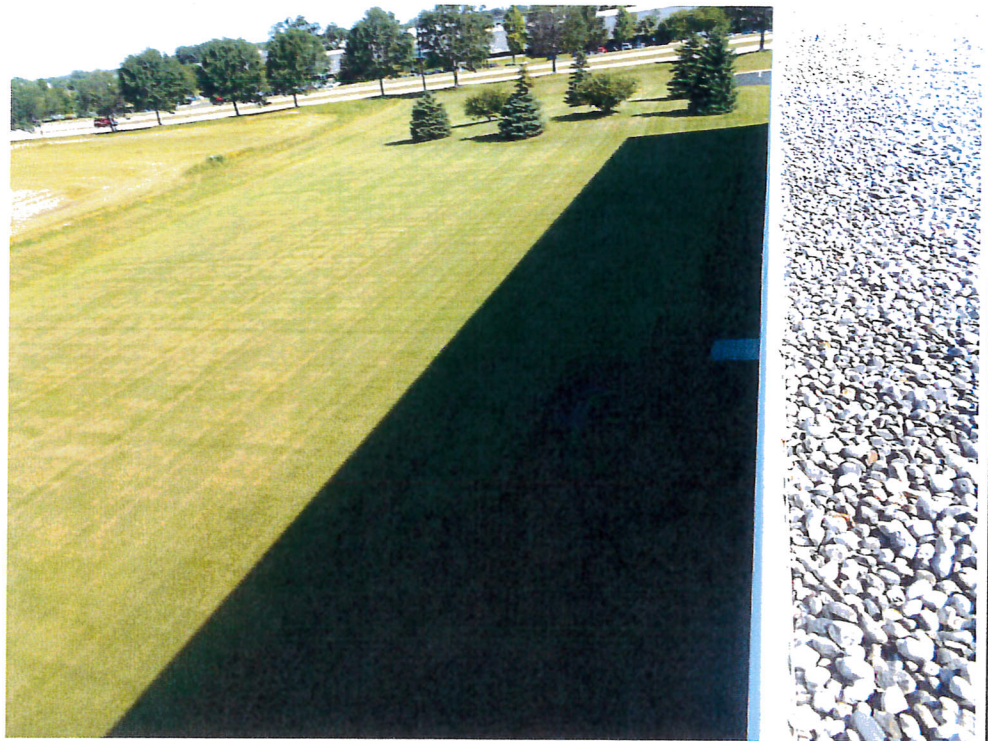
9) View of the northeast corner of the building, the office portion, looking southwest from the parking area. Note the three flag poles.



10) View looking southeast from the northwest corner of the subject property showing the open lawn at the right and the building in the background.



11) View of open lawn at the west side of the property looking north from the south boundary. Note the drainage swale in the foreground.

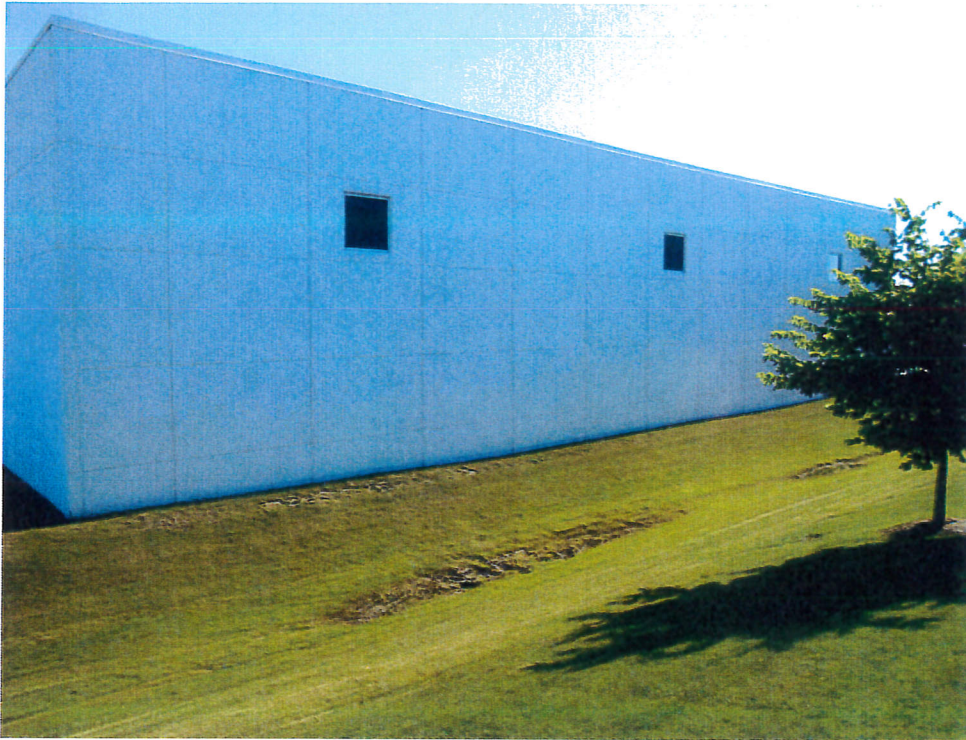


12) View looking northwest from the south end of the building roof showing the open lawn at the west side of the property.



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13) View of the south side of the building looking northeast from the south property boundary.



14) View looking west at the south entry drive off of 82nd Avenue. Note the truck docks and the drive-in door at the south end of the warehouse portion of the building.



15) View of the second drive-in-door at the west end of the north side of the warehouse portion of the building. The office area is to the left of the photo.



16) View looking west at the drive-in-door at the south end of the warehouse area. Note the retaining wall separating the depressed truck docks from the drive-in-door.



17) View of the depressed truck dock doors and ramp looking west.

18) View looking north-west at the concrete "patio" area at the north edge of the depressed truck dock area.



(1) Operational plan requirements. The applicant shall prepare and file as part of the application for site and operational plan approval an operational plan which shall include at least the following information or materials:

(a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties. Quest Products will utilize the property located at 8201 104th Street, Pleasant Prairie for general office of headquarters, warehousing, distribution, and some assembly and packaging of consumer products. No raw material manufacturing will occur at this facility. Distribution and warehousing consists of receiving, storing and shipping finished consumer products. Products that will be stored will be in corrugated master cartons on pallets in metal wire based racking.

(b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site. Please see (a). No changes are requested

(c) Gross floor area of the existing building(s) and/or proposed addition. 44,398 total sf. 22,267 office and 22,131 warehouse

(d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments. 7:30 AM to 6:30 PM Monday through Friday includes deliveries and shipments. We are not open to the public

(e) Anticipated startup and total number of full- and part-time employees. October 3, 28 employees all full time

(f) Anticipated number of shifts and the anticipated number of employees per shift. 1 shift 28 employees

(g) Anticipated maximum number of employees on site at any time of the day. 28

(h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable. NA

(i) Number of parking spaces required per this chapter and the method used to calculate such number. There are 107 spaces on this property—more than enough

(j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped accessible spaces to be stated separately). NA

(k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks). 28

(l) Anticipated daily average and maximum potential number of truck trips to and from the site. 20

(m) Types and quantities of goods and materials to be made, used or stored on site. Consumer packaged goods

(n) Types of equipment or machinery to be used on site. Fork lifts

(o) Types and quantities of solid or liquid waste materials which will require disposal. NA

(p) Method of handling, storing and disposing of solid or liquid waste materials. NA

(q) Methods of providing site and building security other than the Village Police Department. Quest will invest in monitored security system with cameras.

(r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition. Quest will outsource janitorial services to

be performed twice weekly. Landscaping will be done weekly by 3rd party. Building maintenance will occur as needed and preventative maintenance will be performed weekly.

(s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts. **NA**

(t) A list of all local, Kenosha County (highway access), State and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval. Provide copies of such permits and approvals that have been obtained. **Quest is in process of applying for a permit to install warehouse racking and packing stations.**

(2) Operational plan standards. In addition to any other applicable requirements or standards specified in this chapter, the following requirements or standards shall apply to the operational plan: **AGREED AND QUEST WILL COMPLY WITH ALL BELOW**

(a) No use shall be conducted in such a way as to constitute a public or private nuisance.

(b) No use shall be conducted in such a way as to violate any of the performance standards set out in § [420-38](#) of this chapter.

(c) (reserved)

(d) No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.

(e) All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition.

(f) Within a building, any provision of live entertainment in connection with a business or club use involving the selling or service of alcoholic beverages shall comply with the following restrictions:

[1] Live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing;

[2] Customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance; and

[3] There shall be no touching of any kind between entertainers and customers, members or their guests.

(g) No proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

(h) Indoor pyrotechnic displays are prohibited.

Return to: Katrina Karow
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: kkarow@kenosha.org

Date Sent: 8/28/14
Date Due: _____

**VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY**

To be submitted to the
Kenosha Water Utility

General Information

1. Facility Name: Quest Products, Inc
2. Mailing Address: 191 Ambrogio Dr.
3. City, State, Zip Code: Gurnee, IL 60031
4. Site Address: 8201 104th St. Pleasant Prairie WI 53158
5. Standard Industrial Classification Code (SIC): _____
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative
Name: Mark Milliman
Title: CFO
Phone #: 847-693-2747

Company Contact
Name: Mark Milliman
Title: CFO
Phone #: 847-693-2747

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

N/A

Operational Characteristics

1. Existing Number of Employees: Full Time 28 Part Time —
2. Operational Schedule: Days/Wk 5 Hours/Day 8 # Shifts 1
3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities): Warehousing, Distribution, assembly, packaging
4. List principal raw materials used: All finished goods, no raw materials
5. List products produced and the average rate of production: n/a
6. List types of wastes created during production and any by-products produced: n/a
7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 30 gal per day gallons.
Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie X
Meter number or address assigned to water meter(s). _____
8. Type of discharges: Continuous _____ Batch n/a
If batch was indicated, give the average frequency and approximate volume of any batch discharges: _____
9. Describe the uses of water at this facility: Restrooms / kitchen / sprinklers

Wastewater Information

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge. n/a

Wastewater Producing Process	Time and Duration of Discharges
_____	_____
_____	_____
_____	_____
_____	_____

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

N/A

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water?

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day for each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	Consumed	Discharges	
Sanitary Usage	<u>30</u>	<u>25</u>	<u>Sewer</u>
Process Wastewater Usage	<u>-</u>	<u>-</u>	
Cooling Water Usage	<u>-</u>	<u>-</u>	
Other Usage	<u>-</u>	<u>-</u>	
Total Volume	<u>30</u>	<u>25</u>	

5. Describe all locations where wastewaters enter the collection system _____

N/A

6. Is there a sampling manhole on site? N/A No _____ Yes _____

If yes, describe the locations: _____

7. Are sanitary and process wastewaters separated? N/A No _____ Yes _____

8. Is boiler blowdown water discharged to the sanitary sewer? N/A No _____ Yes _____

9. Does your facility haul any process wastewater? N/A No _____ Yes _____

Compliance Information

1. Is there any usage of toxic compounds at the facility? No X Yes _____

If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No X Yes _____

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?

No X Yes _____ If yes, describe procedure: _____

5. Is any form of waste water pretreatment practiced at this facility? No Yes _____
If yes, describe: _____

6. List any specific pretreatment standards that apply to this facility: N/A

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.
N/A

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.
N/A

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

Mark Milliman
Print Name: Authorized Representative

[Signature]
Signature: Authorized Representative

CEO
Title

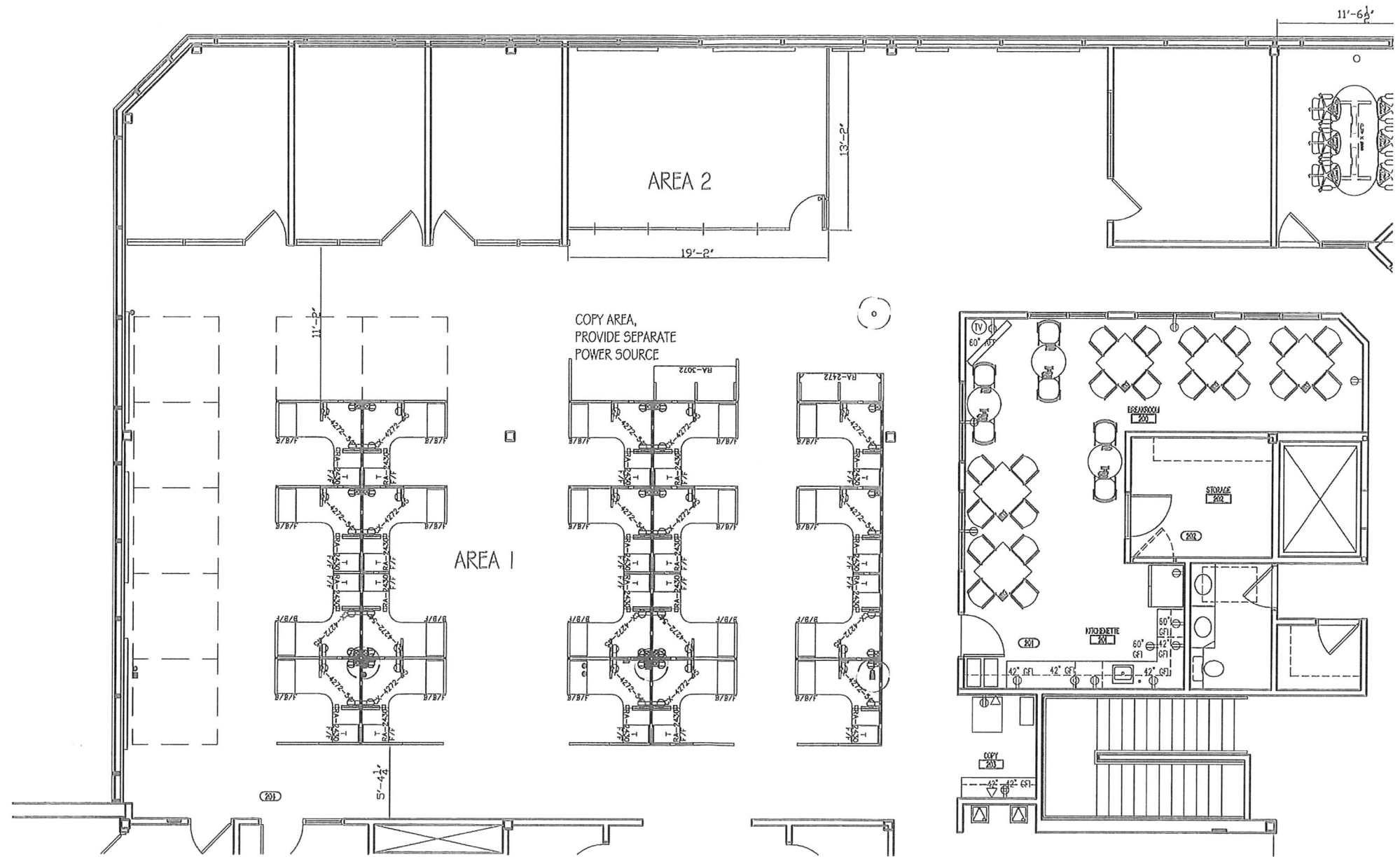
8/22/14
Date

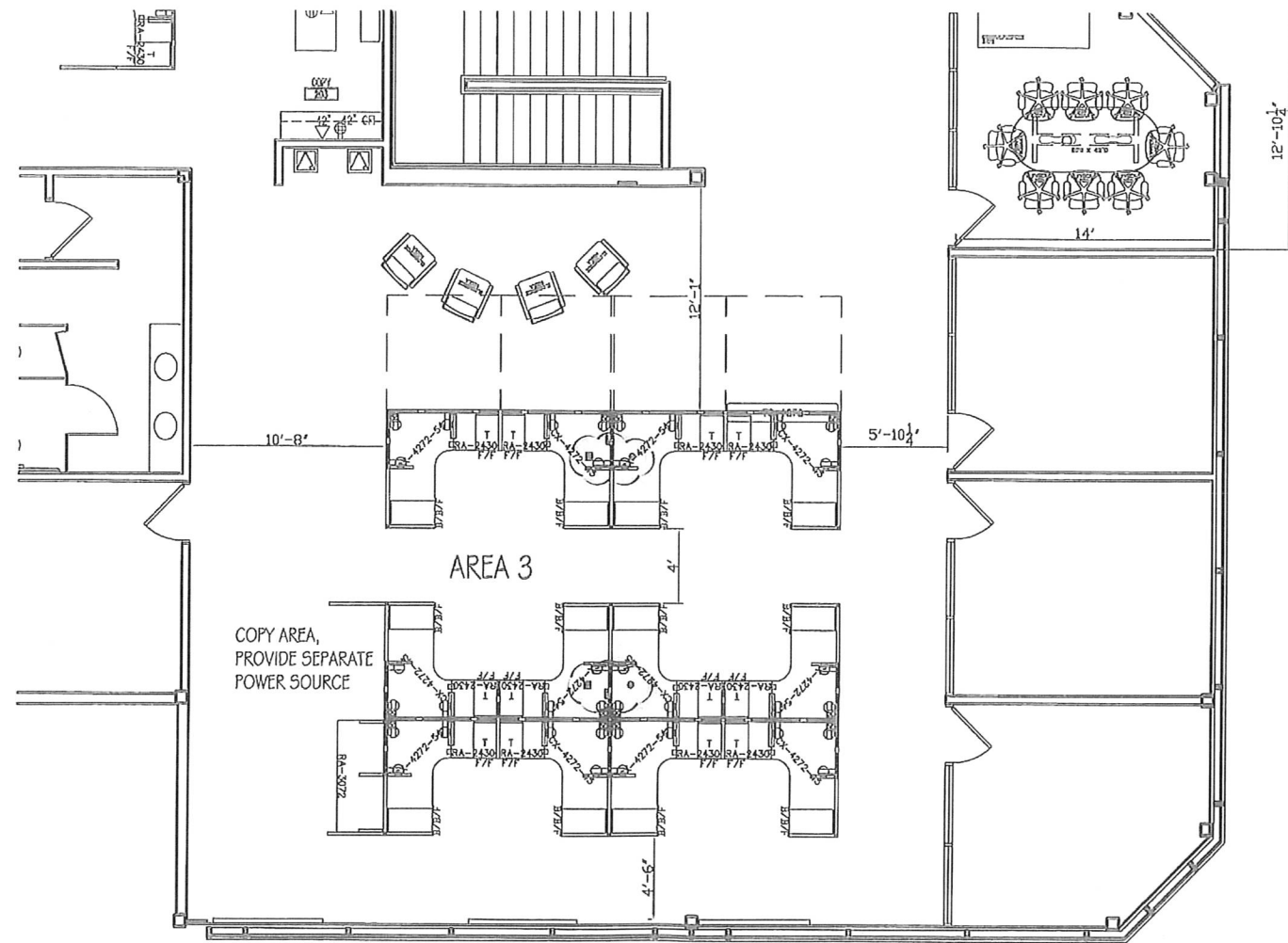
Appendix
Toxic Pollutants Listed in 40CFR 307(a)

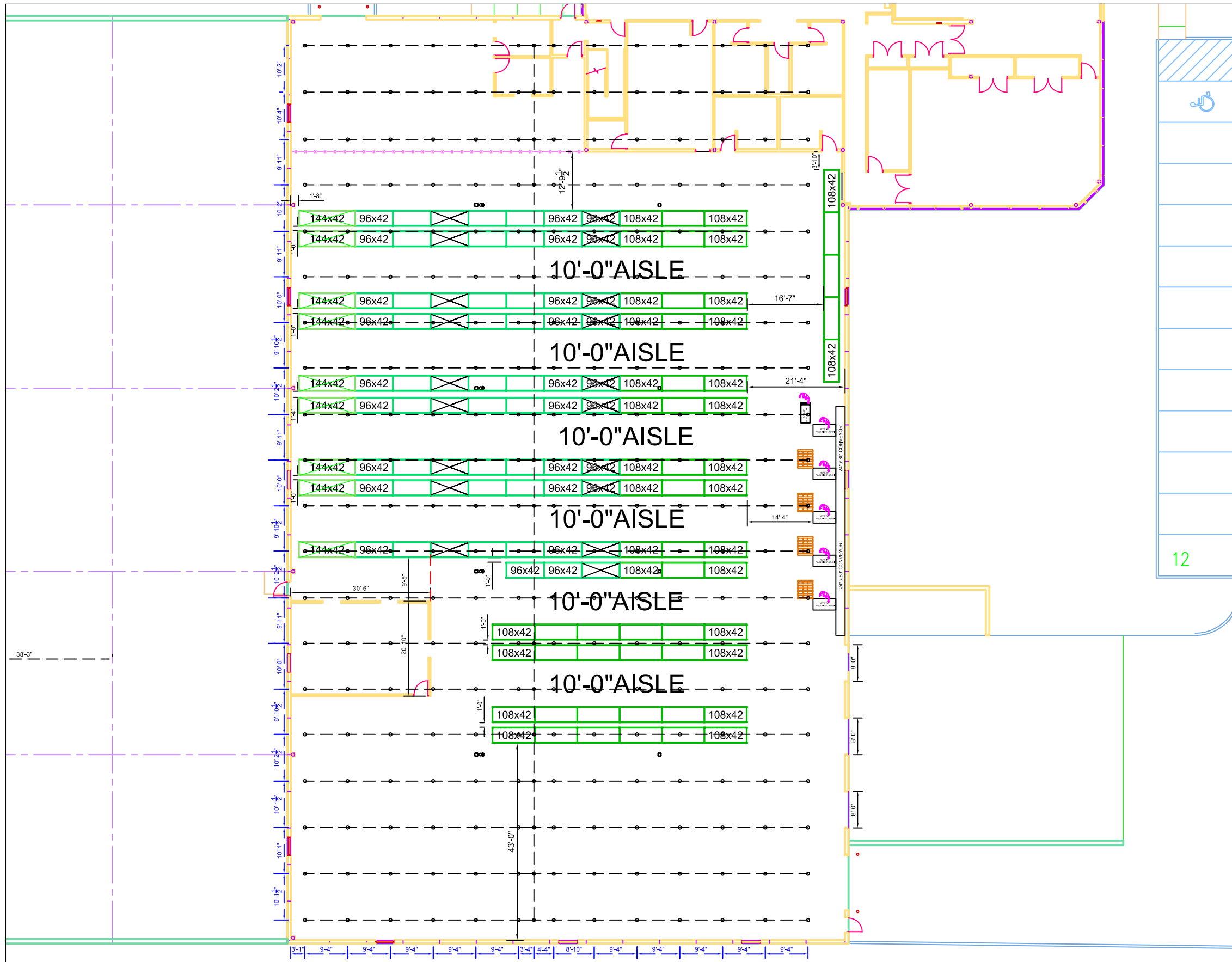
N/A

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinalkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chlorofoffil
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites


Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds'
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo- p- dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds



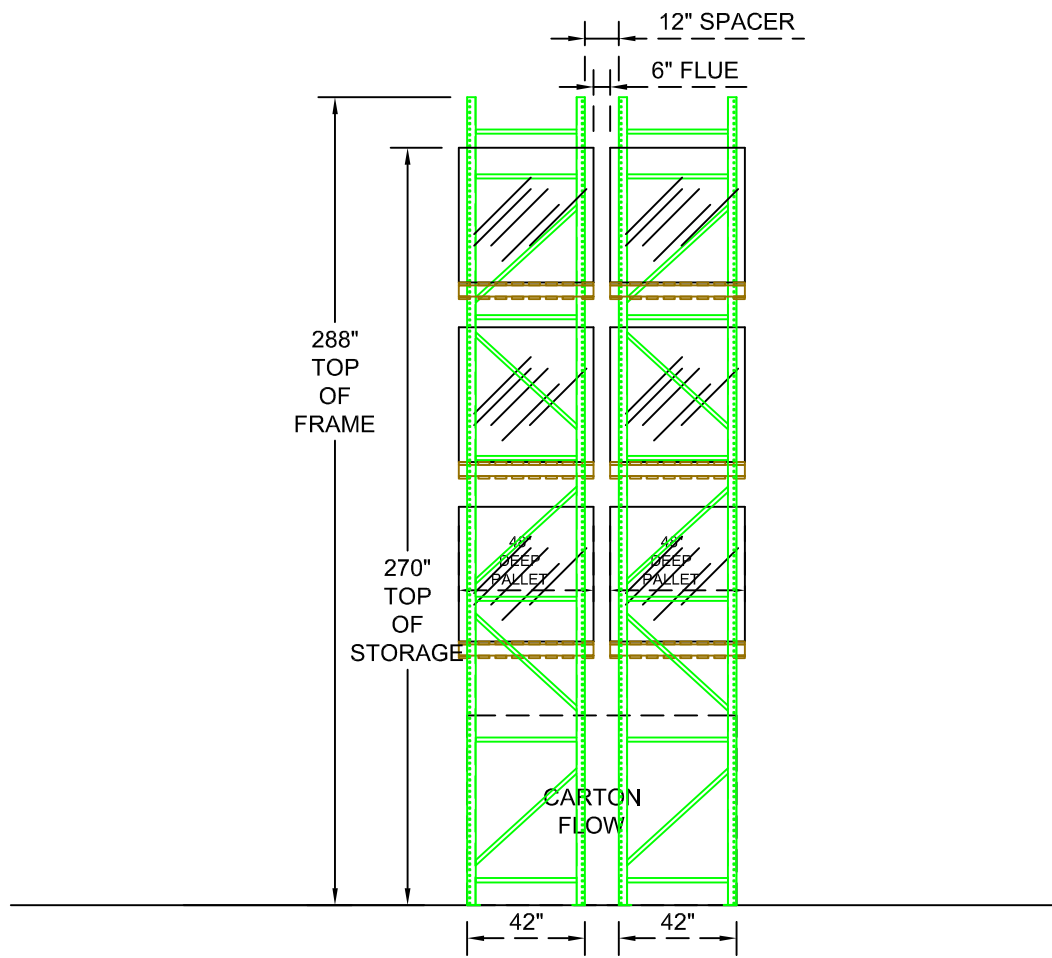
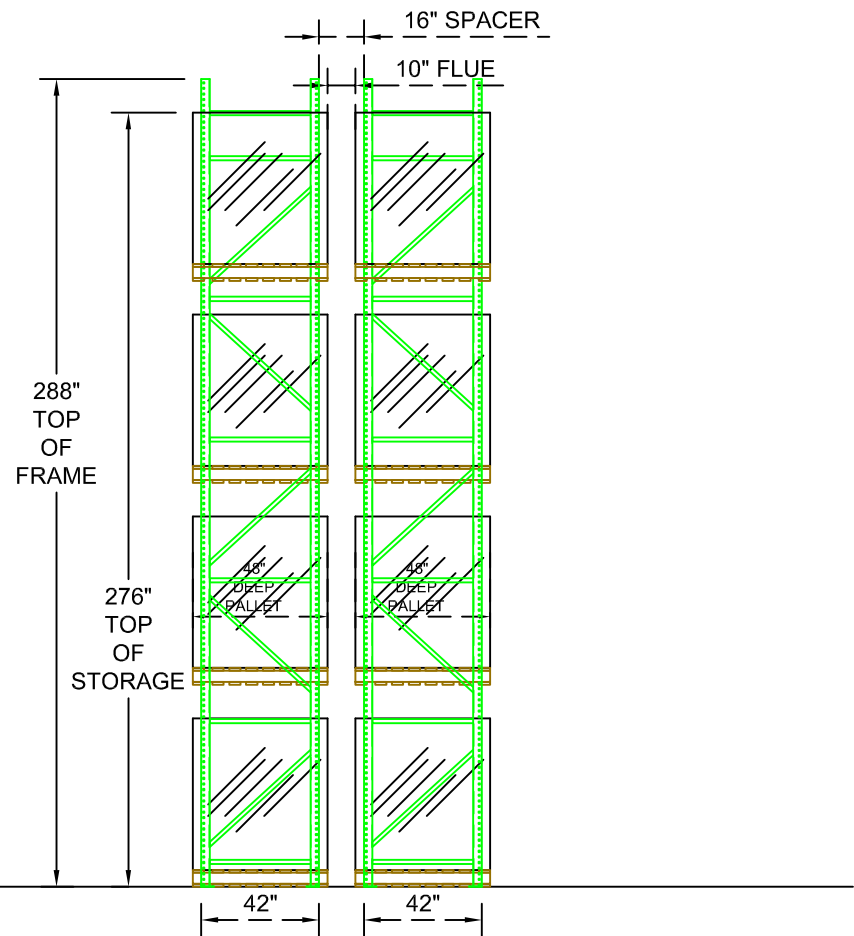
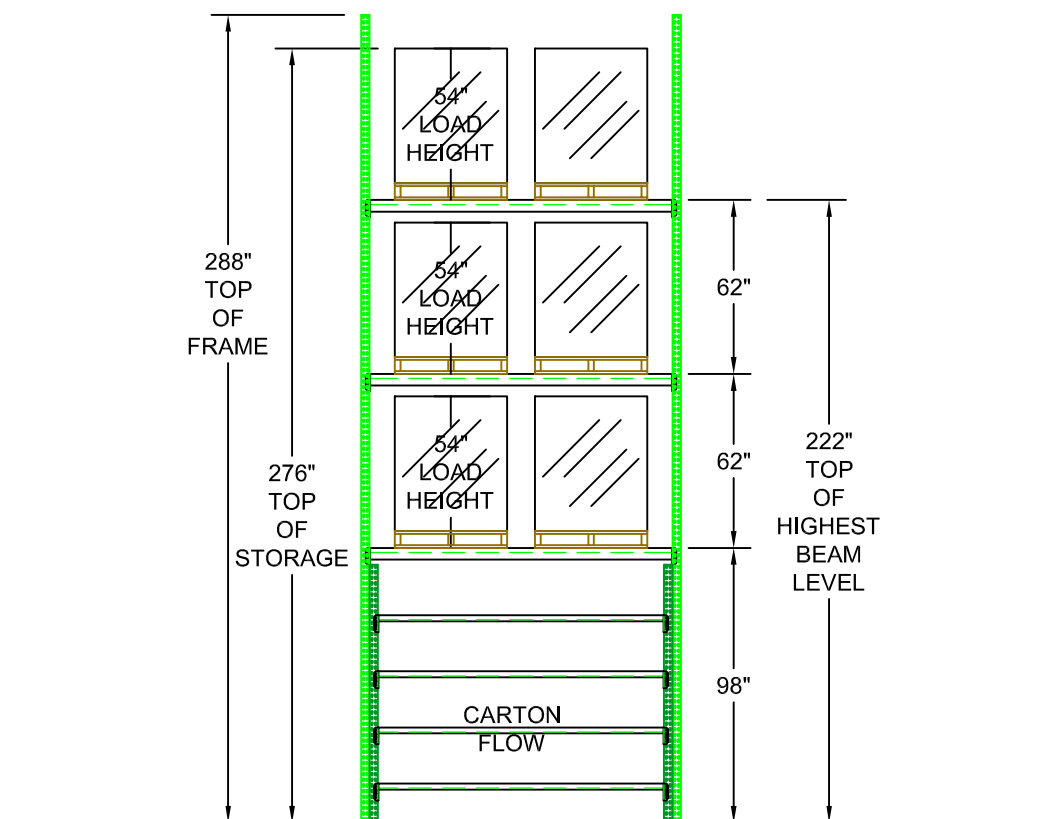
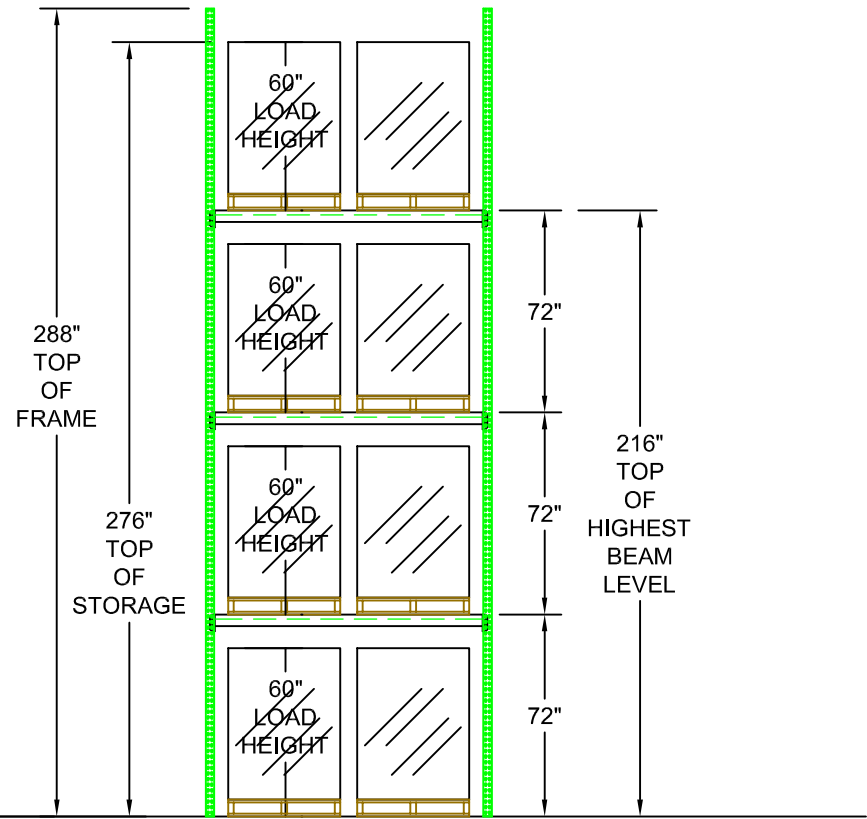




1 FLOOR PLAN
Scale: 3/32"=1'-0"

 <p>Integrated Warehouse Systems, Inc.</p>	Customer: QUEST PRODUCTS		
	Location: 8201 104TH STREET		
	Location: PLEASANT PRARIE, WI 53158		
	Title: FLOOR PLAN		
Scale: AS SHOWN	Drawn By: ANDREW G.	Date: 08/04/2014	Sheet: 1 OF 2 By: BILL Y. Dep. No.: D140058

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	Customer: QUEST PRODUCTS		
	Location: 8201 104TH STREET		
	PLEASANT PRARIE, WI 53158		
	Title: ELEVATIONS		
Scale: AS SHOWN		Drawn By: BILL Y.	Sheet: 2 OF 2
Drawn On: 08/04/2014		By: ANDREW G.	Dep. No.: D140058
<small>This drawing & all its information are the property of Integrated Warehouse Systems, Inc. Do not use, copy, or reproduce without the written consent of Integrated Warehouse Systems, Inc. Drawing is to be returned upon demand.</small>			

- C. Consider the request of Travis Morton, agent for Costco Wholesale Corporation for approval of **Site and Operational Plans including the Digital Security Imaging System and Access Easement** for the proposed Costco and associated gasoline facility on the property generally located at the southeast corner of 76th Street and 94th Avenue in the Prairie Ridge development.

Recommendation: Village staff recommends that the Plan Commission approve the **Site and Operational Plans including the Digital Security Imaging System Agreement and Access Easement** subject to the comments and conditions of the Village Staff Report of September 22, 2014.

VILLAGE STAFF REPORT OF SEPTEMBER 22, 2014

Consider the request of Travis Morton, agent for Costco Wholesale Corporation for approval of **Site and Operational Plans including the Digital Security Imaging System Agreement and Access Easement** for the proposed Costco and associated gasoline facility on the property generally located at the southeast corner of 76th Street and 94th Avenue in the Prairie Ridge development.

On July 28, 2014 the Village Plan Commission held a public hearing and conditionally approved a Conditional Use Permit and Preliminary Site and Operational Plans for the petitioner to develop an approximate 17.5 acre site for the construction of a Costco Wholesale Warehouse and gasoline facility. The proposed warehouse will be located between 91st and 94th Avenues and between 76th Street and Prairie Ridge Boulevard. The fueling facility will be located at the southwest corner of 94th Avenue and 76th Street.

The property is zoned B-2 (PUD), Community Business District with a Planned Unit Development Overlay District. The existing signage PUD is associated with the commercial land within Prairie Ridge that allows "Nonresidential development identification signs" to be located within the dedicated entry monument easement and to include the names of commercial businesses within Prairie Ridge commercial development. On August 4, 2014 the Village Board approved a Zoning Text Amendment (Ord. #14-23) to create the specific Planned Unit Development (PUD) Ordinance for the Costco development.

In addition, on August 4, 2014 the Village Board conditionally approved a Certified Survey Map which shows all existing and additional easements on the property, along with Dedication and Easement Provisions. In addition, as a condition of the CSM approval the traffic patterns were required to be re-examined - especially at 91st and 94th Avenues at 76th Street. A Traffic Study indicates additional right-of-way to be dedicated and it has been included on the CSM. The CSM shall be finalized and recorded prior to the issuance of any permits.

At this time the petitioner is requesting approval of Site and Operational Plans including conditional approval of the Digital Security Imaging System (DSIS) Agreement and DSIS Access Easement for the proposed Costco warehouse and gasoline facility on the property.

Costco Wholesale Corporation operates an international chain of membership warehouses, mainly under the "Costco Wholesale" name, that carry quality, brand name merchandise at substantially lower prices than are typically found at conventional wholesale or retail sources. The warehouses are designed to help small-to-medium-sized businesses reduce costs in purchasing for resale and for everyday business use. Individuals may also purchase for their personal needs.

Costco's warehouses present one of the largest and most exclusive product category selections to be found under a single roof. Categories include groceries, candy, appliances, television and media, automotive supplies, tires, toys, hardware, sporting goods, jewelry, watches, cameras, books, housewares, apparel, health and beauty aids, tobacco, furniture, office supplies and office equipment. Costco is known for carrying top quality national and regional brands, with 100% satisfaction guaranteed, at prices consistently below traditional wholesale or retail outlets. Costco also offers tire installation, pharmacy, one-hour photo, hearing aid, and optometry and travel services.

Members can also shop for private label Kirkland Signature products, designed to be of equal or better quality than national brands, including juice, cookies, coffee, housewares, luggage, clothing and detergent. The Company also operates self-service gasoline stations at a number of its U.S. and Canadian locations.

Additionally, Costco Wholesale Industries, a division of the Company, operates manufacturing businesses, including special food packaging, optical laboratories, meat processing and jewelry distribution. These businesses have a common goal of providing members with high quality products at substantially lower prices.

The project will consist of the construction of a 149,365 square foot warehouse retail building that includes an accessory tire center, food service center, employee break room, locker area, fire pump room and an enclosed 4,234 square foot entrance canopy, all totaling 153,955 square foot building area. In addition, a freestanding 3 island gasoline fueling facility containing 12 pumping positions (with an option of building a 4th island in the future for a total 16 pumping positions) for passenger vehicles.

The hours of operation proposed by Costco, when the public is allowed to enter or remain on site for business purposes include:

Warehouse: Monday – Friday 10:00 AM to 8:30 PM
Saturday 9:30 AM to 6:00 PM
Sunday 10:00 AM to 6:00 PM

Gas Station 6:30 AM – 10:00 PM (24 hrs. gas pumps not allowed)

During holiday times, Costco may adjust their hours slightly when they are open to the public. However, the Costco hours will not conflict with the zoning regulated B-2 hours, which is when a business is allowed to be open to the public.

Pursuant to the B-2 District requirements, deliveries and shipments or any other activities outside of the principal building or accessory building (fueling station) that might cause a disturbance to the neighboring residential areas or hotel (such as, outside loading or unloading, the arrival of deliveries, idling of delivery trucks, and back-up beeping of delivery or garbage pickup trucks), except for snow removal, is allowed only from 6:00 a.m. to 10:00 p.m.

Pursuant to the B-2 District and liquor license requirements, the business is allowed to be open until midnight; however, Class A Beer and Class A Intoxicated Liquor is only allowed to be sold during their hours of operation. A liquor license shall be requested and obtained from the Village Board. [Note Costco's Warehouse hours are only Monday – Friday 10:00 AM to 8:30 PM, Saturday 9:30 AM to 6:00 PM and Sunday 10:00 AM to 6:00 PM].

The owner shall obtain and maintain all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, issued from the various government agencies. Contact the Village Clerk Jane Romanowski for liquor or tobacco license applications and to discuss the process to obtain said licenses. Liquor License inspections are conducted by the Fire & Rescue, Building and Community Development Departments in the spring of each year. Contact the Kenosha County Health Department regarding food related licenses, inspections and approvals.

A total of 150 employees (50% full time and 50% part time) will be employed at this facility. Employees come in at random times throughout operational hours; therefore, there are no specifically defined shifts. The peak number of employees at one time in the warehouse is approximately 75.

The Village Zoning Ordinance requires a minimum of on-site parking for retail stores: one (1) space for each 200 feet of primary floor area, plus one (1) space for every 2 employees, plus the required number of handicapped accessible parking spaces required by the State code.

575 spaces (115,016 square feet of main sales space and tire sales area-primary floor area divided by 200 square feet) + **75** spaces (150 employees divided by 2)= 650 parking spaces are required, plus the required handicapped accessible parking spaces.

A total of 690 parking stalls, including 17 handicapped accessible parking spaces are proposed for the development. The parking exceeds the minimum parking requirements of the Village. (All parking lot light poles must be located in landscaped islands, so reducing five (5) parking spaces to accommodate landscape light islands is not a factor in meeting total parking requirements).

Pursuant to the Traffic Study Report, the facility is expected to generate new automobile trips as outlined below. In addition, eight (8) to 10 trucks per day, Monday thru Saturday for deliveries are expected.

The proposed Costco Wholesale development (warehouse and fueling station) is expected to generate 195 total vehicle trips (100 entering vehicles/95 exiting vehicles) during the weekday morning peak hour.

During the weekday evening peak hour, the proposed Costco Wholesale development is expected to generate 865 total vehicle trips (435 entering vehicles/430 exiting vehicles). Of the 865 total vehicle trips, 150 trips are expected to be linked trips resulting in 715 new trips (360 entering vehicles/355 exiting vehicles).

During the Saturday midday peak hour, the proposed Costco Wholesale development is expected to generate 1,290 total vehicle trips (635 entering vehicles/655 exiting vehicles). Of the 1,290 total vehicle trips, 220 trips are expected to be linked trips resulting in 1,070 new trips (525 entering vehicles/545 exiting vehicles).

As a result of the increased traffic, the Traffic Study proposes 4-way stop signs at the intersections of 91st/94th Avenue at 76th Street, along with additional pavement markings.

As required as part of the PUD, the site shall be equipped with fully functioning and operational security cameras outside of the building covering each building entrance and exit, all public areas including the fueling dispenser area, the parking lots and the driveway entrances to the site. The DSIS shall be in accordance with the requirements of Chapter 410 of the Village Municipal Code. **Attached are a Draft DSIS Agreement and Draft DSIS Easement which shall be finalized and executed within 90 days of this approval, with the DSIS improvements installed and operational prior to verbal occupancy.**

As discussed at the Plan Commission meeting in July 2014, the design of Costco Pleasant Prairie represents a unique contextual response to the Village and Prairie Ridge development. The materiality of the building reflects various rich textures in earth tones including textured panels, intermixed with split-faced CMU, structural brick, variegated lannon stone veneer and accent steel. Compositionally, each façade has been designed with a base, body and cap which together with material, textural and color variations successfully break up the continuous surface. The masonry elements provide a strong base with anchored corners, while the customer entry is a well-defined lighter space featuring glass slider and sectional doors providing comfort from the elements. Subtle details at the entry focus design for the shoppers experience upon entry, creating deep and wide openings with treatments in stone and CMU signifying the concept of threshold. Costco also will provide

extensive landscaping, particularly along their southern and western properties boundary between the warehouse and homeowners/hotel clients.

In addition, as discussed at the July 28, 2014 Plan Commission meeting, Costco maintains a Sustainable Practice Design Approach. Green building design is integral to the design, construction, and performance of the prototypical Costco warehouse site and building.

Innovation in Site Development and Building Design:

- Utilize local and regional labor and materials.
- Reduce "Heat Island Effect" with light reflective roof coating
- Centralized energy management system maximizes efficiency of lighting, HVAC, and refrigeration systems.
- Over 200 Energy Star rated skylights provide day lighting throughout 100% of the warehouse sales floor.
- Non-VOC (volatile organic compound) floor sealant covers 100% of concrete warehouse sales floor.
- Heat-reclaim system within the refrigeration systems is used to heat warehouse water.
- Refrigeration is based upon atmosphere-friendly cooling system.
- High efficiency restroom fixtures provide 40% water savings over fixtures currently required by code.
- Uses of native species landscaping and drip irrigation reduce potable water consumption.

Pre-Engineered Architectural Metal Panel Building System: A key green building design component is the reliance upon the pre-engineered architectural metal panel building system which contributes to achieving significant sustainable building practice benefits.

- Architectural metal wall panel and insulation system provides twice the insulation value over concrete masonry.
- Pre-engineered metal warehouse structure, walls, and roof use 80% recycled steel material.

Architectural Metal Panel versus Traditional Concrete Masonry: Significant advantages of Costco Wholesale's pre-engineered architectural metal panel building system compared to a traditional masonry wall system:

- Qualifies for 2009 LEED credits
 - Material content is composed of 80% recycled steel. (LEED MR Credit 4.2 Recycled Content 20%)
 - Steel components are 100% recyclable
- Complies with 2004 Energy Code (ASHRAE 90.1)
 - Exceeds code minimums by greater margin.
 - Provides twice the insulation "R" value. (AMP = R-11 vs. CMU 10" = R-5)
- Lower Energy Costs
 - Fewer HVAC units are required (one-less 25-ton unit). (AMP = 12 @ 25-ton unit vs. CMU = 13 @ 25-ton unit)
- Total energy consumption for heating and cooling over lifetime of warehouse is less.

Build out typically takes approximately (5) five to (6) six months, which would include stocking merchandise and hiring personnel. Costco anticipates that the facility will be open for business by August 2015.

Village staff recommends approval of the Site and Operational Plans, including the DSIS Agreement and DSIS Access Easement subject to compliance with the above comments and the following conditions:

1. Prior to issuance of permits the CSM as conditionally approved by the Village Board on August 4, 2014 shall be finalized, executed and recorded at the Kenosha County Register of Deeds Office. In addition, the CSM was conditionally approved subject to payment of outstanding special assessments and taxes prior to the Village releasing the CSM for recording.
2. A Digital Security Imaging System shall be installed pursuant to the Village Security Ordinance Chapter 410. The system shall be owned and operated by Costco and shall comply with Village requirements for the Village Police Department live web portal access to the exterior camera system. Costco shall execute a DSIS Agreement and a DSIS Access Easement within 90 days of building permit approval. See **attached** drafts of the DSIS Agreement and DSIS Easement. Costco shall work with the Village Community Development, Information Technology and Police Departments to review and discuss Village requirements for the system. The Agreement and Easement shall be finalized, executed and the DSIS system shall be fully operational and inspected by the Village prior to obtaining verbal occupancy of the store.
3. Pursuant to the Conditional Use Permit as conditionally approved by the Village Plan Commission on July 28, 2014, upon approval of the Site and Operational Plans the Conditional Use Permit will be prepared by the Village. The Conditional Use Grant Document #14-06 shall be executed by the Owner, recording and filing fees shall be paid to the Village for the Village to record said document at the Kenosha County Register of Deeds Office. This document shall be signed and returned to the Village prior to the issuance of any Village permits for the project. **The name and title of the authorized person(s) from Costco who will execute the Conditional Use Permit so this document can be finalized shall be provided.**
4. Prior to the issuance of any permits, PUD (Ord. #14-23), as approved by the Village Board on August 4, 2014 shall be finalized and executed by the Village. The PUD will be finalized after recording of the CSM and approval of the Final Site and Operational Plans. If PUD changes are proposed, the Plan Commission and Village Board will need to amend their approval.
5. The Site and Operational Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. **The following changes shall be made and three (3) sets of revised final Site and Operational Plans shall be submitted for final staff review and approval. To expedite the review process, return these comments with notations (plan sheet number) in the margin for each comment (different color) which explains where the comment has been addressed on the plan sheet or that you will comply with the statement.**

- a. **Changes/Corrections to the Costco Warehouse Plans include:**
- i. Clarify where the sediment basin outlet pipes are discharging? Based on information provided it appears the outlet pipes are below grade. (C200)
 - ii. The erosion control plan shows cuts along the south side of the site where fill is ultimately going to create a berm. The grading as shown on the erosion control plan is not correct. (C200)
 - iii. Show / note the proposed new Holiday Inn Driveway. (C300 and all other applicable sheets).
 - iv. What color is the proposed sidewalk striping at the drive entrances? Also, indicate paint color for typical drive stalls. (C310)
 - v. Show the proposed contours and tie-ins at the Northwest corner of the site by 91st Street and 76th Street. (C400)
 - vi. The engineers estimate of the quantity of import / export of fill needed for the site grading plan still needs to be provided.
 - vii. The Overall Utility Sheet (C500) shall be updated to reflect the detailed plans. The following are example inconsistencies.
 - 1. The Overall Utility Sheet shows the proposed 10-inch water main connection on 91st Avenue, whereas, the plans show the connection on 76th Street (C520).
 - 2. The Overall Utility Sheet has the proposed private sanitary sewer mislabeled as a 10-inch (should be 8-inch). Leader note is located on west side of building. Correct accordingly.
 - 3. Storm sewer sizes are inconsistent on the Overall Utility Sheet versus the detailed plans. Correct as needed.
 - vi. Eliminate the two proposed 12-inch main line valves at the 76th Street connection or further discuss with the Village Engineering Department (Contact Mike Spence/Matt Fineour). (C520)
 - vii. The proposed 60-inch manhole with check valve located off the 76th Street connection shall be privately owned and maintained. The manhole / check valve is not a Village requirement. Provide a detail of the structure in the plans. (C520)
 - viii. The proposed manhole with check valve located at the Prairie Ridge Boulevard water service connection shall be relocated outside the right-of-way on Costco property. The manhole and check valve shall be privately owned and maintained by the landowner. A detail of the structure shall be included in the plans. (C523)
 - ix. Provide a copy of the on-site storm sewer sizing calculations and associated drainage area map for review.
 - x. The 24-inch storm sewer connection near the corner of 91st Avenue and 76th Street shall be to the existing 24-inch lateral, if present. (Verify existence). (C533)

- xi. Provide a cross-section of the wet detention basin section. Also, include liner requirements and specifications. (C600)
- xii. Written approval from the Prairie Ridge Commercial Owners Association shall be obtained for the proposed regional pond modification. The Association shall maintain the responsibility for ownership and maintenance of the pond, including the modifications. A copy of the Association's written approval and acknowledgment shall be provided to the Village.
- xiii. Approval and permit is required from Kenosha County Public Works for the proposed construction entrance off of 88th Avenue for the regional pond modification work. A copy of the County permit shall be provided to the Village.
- xiv. Dimension the modified parking row length for Holiday Inn on both sides of the drive from the new curb and gutter to the existing landscape island and/or sidewalk. Show total number of parking spaces for each row. (C603)
- xv. Provide a break out of the schedule of values for bid items associated for the Holiday Inn driveway project.
- xvi. Any irrigation lines within the Village right-of-way shall be the sole responsibility of Costco. The Village will not be responsible for irrigation utility markings or any damage caused by work in the right-of-way by the Village or other entities. An irrigation (exterior plumbing) permit is required. (I-1.1, I-1.2)
- xvii. Irrigation spray heads shall be directed so as to avoid spraying into the sidewalk or roadway. (I-1.1, I-1.2)
- xviii. Dimension the parking stalls and drive aisles located in front of the building. Also, dimension the parking and drive aisles located on the south side of the building, south of the loading dock. (SD101)
- xix. Dimension the angled drive aisle width on the northwest corner of the building (SD101).
- xx. In the Traffic Study memorandum, why is there no Weekday AM peak hour trips for the warehouse in Table 1?
- xxi. The following comments related specifically to Access, Sidewalks and Parking Lots:
 - 1. Costco shall coordinate the timing of the relocated driveway with Holiday Inn Express. The Costco contractor shall bid the Holiday Inn driveway as a separate line item to obtain favorable pricing for the work.
 - 2. The handicapped accessible parking signs shall read Per the American National Standard, Accessible and Usable Buildings and Facilities ICC/ANSI A117.1-2003 not per Local requirements. (G201)
 - 3. The traffic study for the 91st and 94th Avenues and 76th Street is acceptable with the proposed pavement and signage modifications, along with the additional right-of-way dedication

being shown on the CSM. Costco shall install the required pavement markings and signage at the 91st and 94th Avenue with 76th Street intersections per the Village's direction and inspection.

4. Note - The address assigned for the property is 7707 94th Avenue, Pleasant Prairie, WI 53158. (C100)
5. Label - The Zoning is B-2, PUD, Community Business District, with a Planned Unit Development Overlay District. (C100)
6. The retaining wall location on sheet C200 should reflect the full extent of the retaining wall (C401).
7. The on-site walkway/sidewalk connection to the public sidewalk adjacent to 76th Street and 94th Avenue is acceptable; however, a depressed curb in the parking lot and striped markings through the parking lot pavement aisle ways shall be shown. (C300, C301 and E310)
8. A minimum 4 foot head light screening berm and plantings shall be provided at the south east corner of the site to screen headlights from adjacent residential property. (C403) Sheet C403 – grading needs to reflect the berm as shown on Landscape Plan L1.1 at the southeast corner of the site.

xxii. The following comments relate to Signage:

1. Pursuant to the PUD, the wall signage for the warehouse is allowed to increase to allow for a total of 500 square feet maximum. The total sign area calculated for the three (3) wall signs listed below on the warehouse building totals 536.48 square feet:
 - 1 wall sign at the entrance (21.33 x 5.83): 124.35 sq. ft.
 - 1 wall sign on the north elevation shall be decreased in size from (10.3 x 37.3): 384.19 sq. ft. to a maximum size of 345.33 sq. ft.
 - 1 wall sign for the tire center on the north elevations (17.33 x 1.75): 30.32 sq. ft.
2. Correct the signage chart on Sheet A301 to reflect the proposed signage.
3. All parking lot site signage shall be on attractive black poles with black caps/finials. Stop signs shall be of a WI DOT specification for size.
4. Sheet C300 incorrectly labels the Primary Monument Sign. It is the staffs understanding that the Primary Monument Sign is located adjacent to the entrance at 94th Avenue. On all plan sheets correctly label and reference the plan sheet that the details are located rather than the note "See Architectural Plans".

- xxiii. The following comments related to the Landscaping and Open Space:
1. Provide an extension to the berming on southeast corner in the area where the sight line provides views to the trash compactors on the Grading Plan. Modify grading plan to reflect grading shown on landscape plan.
 2. Need to discuss the landscaping around the gas enclosure – there needs to be a variety of plantings around the enclosure of varying sizes. The soldier course of upright junipers will create more of a wall for hiding behind—it needs to soften the building—please contact Jean Werbie-Harris to discuss.
 3. Provide details (cut sheet), size, height, material, and color for the retaining wall.
- xxiv. The following comments relate to the Building Materials and Architecture:
1. Sample materials and colors boards shall be provided for the staff and Plan Commission review and approval.
 2. On Sheet A301 provide the color of the angled block screen wall that hides the garbage compactors. This wall shall be the same color as the lower wall.
 3. Scupper drains from building must have finished drip ends that match building – not cut off plastic PVC pipe. Show a detail cut sheet on the plans.
 4. Drains must be interconnected into the ground at grade with drains w/ matching building colors (not stainless steel or plastic pipe). Show a detail cut sheet on the plans.
 5. The color of the metal man doors shall be painted to match/complimentary to the brick. Specify the exact color on the plan sheets and provide color samples to ensure that the colors match.
- xxv. The following comments related to the Exterior Lighting:
1. The five (5) 8'x8' light pole islands in the parking lot are not acceptable. The islands shall encompass an entire parking stall length and include landscaping. Revise all applicable sheets.
 2. On Sheet SE-1 add a note that the fiberglass light pole shall be black. (All light standards poles shall be either black or bronze).
 3. As a unified development all of the exterior parking lot lights shall be the same style, height, color temperature for the entire Costco development area. All bolts on the light standard bases shall be capped or covered. Note on the Plans.
 4. In addition, some of lighting color temperatures for the interior fixtures is not noted. Revise the plans.
 5. The lighting detailed cut sheets for exterior building wall units were just provided – include on the plan sheets.

6. It appears that three (3) street lights may need to be relocated to accommodate the entrances from 91st and 94th Avenues and 76th Street. Show all existing street lights on sheet SE-1.
7. Lighting Fixture Schedule on Sheet E-1-Parking lot lights shall be black in color.
8. Verify that there will be sufficient lighting for the DSIS cameras. Additional light poles at the entrance may be required to accommodate sufficient lights for DSIS cameras.
9. There appears to be a discrepancy for the building sign lights, on Sheet E-3. It shows them as type F1 and on the lighting fixture schedule and they are shown as type F. Are they one in the same and can you provide cut sheets on the arm assembly?

b. **Changes/Corrections to the Costco Fueling Station include:**

- i. Does the concrete pad by the fueling stations slope south toward the concrete drainage swale? Provide additional spot grades to clarify. Also, show the longitudinal slope or additional grades for the drainage swale. (C4.0)
- ii. Provide propose contours and/or spot grades along the north portion of the site showing grading and tie-ins between the curb and roadway. Positive drainage shall be provided and maintained. (C4.0)
- iii. Include the missing curb grade at the radius center located at the northwest corner of the site. (C4.0)
- iv. Does the concrete swale have adequate depth? It appears that the depth would only be 0.015-.0075 of an inch (AG-5). The engineer shall verify that this is adequate.
- v. Provide a submerged elbow outlet device or other similar type feature for CB 24 to trap oil or spills as a precautionary measure. Provide a detail.
- vi. Pursuant to the PUD, the gas canopy signage shall not exceed 80 feet. Sheet AG-2 will need to be revised as it indicates that the canopy sign is (2.44' x 8.55') 20.86 square feet and that this sign will be on all four (4) sides of the canopy for a total of 83.45 square feet. The color rendering of the facility indicates that the canopy sign is (2.33' x 8.55') 19.92 square feet and that this sign will be on all four (4) sides of the canopy for a total of 79.68 square feet.

4. Compliance with the ***attached*** conditions of the memorandum dated September 18, 2014 from the Village Fire & Rescue Department. Upon review of the plans submitted, the Fire & Rescue Department have the following concerns. Any required plan changes shall be made on the appropriate plans sheets.
 - a. AED. Because of the overall building size the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and customer use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.

- b. Fire Alarm Control Panel: The main FACP will be placed in the fire pump room, if facility has a fire pump room. Remote annunciator panel location(s) will also need to be determined.
- c. Knox Box key box locations will need to be determined with the Fire & Rescue Dept. This may require several Knox Boxes in order to provide fire department access. All Knox Boxes shall be recess mounted.
- d. Both the fire department sprinkler connection and the fire hydrant, (pumper pad), shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. Shown with only a fire hydrant on the south side of the building. The fire department connection will also need to be provided as per the current Fire and Rescue Department drawing. The area in front of the pumper pad must be striped and have signage to indicate that there is no parking in that area and that we have clear access to the area at all times.
- e. Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. Plan C500 shows the hydrant on the northwest corner of the building is 450' from the nearest hydrant to the south and over 600' to the nearest hydrant on the northeast side of the building. Fire hydrants are not provided on the east side of the building by the building. The building owner shall supply a written letter stating that they will maintain access to the municipal street hydrants in lieu of providing hydrants on the east, west and north sides of their property. Maintaining access includes snow removal, weed control, etc.
- f. On plan C500 dated 9/3/2014 the water main is shown as being fed from the northeast side of the building and dead ending at the pumper pad/fire pump room. Plans C520-C523 show completely different connection points. Corrected underground fire protection plans must be submitted for review by the Fire & Rescue Department.
- g. The underground fire main size must be determined by a Wisconsin Licensed Fire Sprinkler designer. The plans dated 9/3/2014 are not stamped by a Wisconsin Licensed Fire Sprinkler designer.
- h. Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department per our ordinance for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
- i. Any canopy must be constructed to at the minimum height allowed by the International Building Code.
- j. Truck staging shall not decrease the width of the fire lanes to less than 30 feet.
- k. Rack storage: If it is the intent to use rack storage, that rack storage configuration must be reviewed by the fire protection contractor to assure adequate fire sprinkler protection. Rack storage shall not adversely affect the maximum exit distance requirements. This process needs to begin immediately to assure no interruption in the construction timeline and to assure the opening date will be met.

- l. Severe Weather Shelter: The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.
- m. On plan C 300 dated 9/3/14 there are five (5) access doors indicated on the east side. These doors will need to have a hard surface from each door leading to another hard surface such as a sidewalk or parking lot that is wide enough to have required exit pathways clear even while the doors are open. The plan shows that when the doors are open the exit pathways are almost completely blocked. Due to snow accumulation in this area the exit/entrance must be maintained as a continuous pathway from the door to a place of safety away from the building.
- n. All outside doors must have access to the interior. Such as a lock and handle provided at each door.
- o. Telgian report dated 6/23/14, Pleasant Prairie Fire and Rescue response:
 - 1.1 Incorrect address for the Costco Wholesale store in Pleasant Prairie, WI.
 - 2.1 The State of Wisconsin uses the 2009 edition of the International Building Code with only the specific references to the International Fire Code used.
 - 2.2 Pleasant Prairie Ordinance 180-16 H. (1) adopts the most current printed edition of all NFPA documents.
 - 4.1 Separations between the Tire Installation area and Tire Sales area, along with the Food Service area will require further discussion between the architect and the fire department.
 - 5.1 Display of motor vehicles will need to comply with the current adopted edition of NFPA 1.
 - 5.4 Tire storage will need to comply with the applicable NFPA Code.
 - 6.3 Solid piled storage will need to comply with NFPA Codes. 20 feet may be an excessive height for a given commodity and fire protection.
 - 8.2 All fire sprinkler plans and fire alarm plans are reviewed by the Fire and Rescue Department along with review from an independent consulting firm to assure design and installation compliance.
 - 10.1 Small hose valve connections will need to be installed by each access door. The Fire and Rescue Department will not accept section 8.17.5.1.3 #1 in NFPA 13. Please refer to local ordinance 180-16 I. (2).
 - 12.2 The FACP will be installed in the fire pump room, if no fire pump room is needed the location will be approved by the Fire and Rescue Department. Local ordinance V. (3)
 - 12.3 Exterior notification of fire sprinkler activation will need to comply with local ordinance M (1) and (2). This may require several strobe/bell devices on the outside.

12.5 Pull station fire notification devices will be required at each exterior access door. IFC section 907.2.7 exception will not be permitted.

12.9 Fire alarm system wiring in the jurisdiction of the electrical inspector and will need approval.

5. Compliance with the ***attached*** Staff Memorandum from the Village Building Inspection Superintendent dated September 17, 2014.
6. **Upon approval of the revised Site and Operational Plans, and prior to the issuance of the required building, zoning and erosion control permits the following shall be submitted:**
 - a. The CSM shall be recorded and a recorded copy shall be provided to the Village.
 - b. The Conditional Use Document #14-06 as approved by the Plan Commission on July 28, 2014 shall be finalized and executed by the property owner. The name and title of the authorized person(s) who will execute the Conditional Use Permit so this document can be finalized shall be provided.
 - c. The PUD shall be finalized and executed by the Village.
 - d. The DSIS Agreement and DSIS Easement shall be executed by the property owner. The DSIS Easement shall be recorded. The DSIS must be fully operational and camera feed accessible by the Village PD prior to verbal occupancy.
 - e. A pdf of the Site and Operational Plans.
 - f. Fire & Rescue Compliance Letter shall be submitted to the Fire & Rescue Department (on Costco letterhead) prior to receiving a building permit, stating that the project will comply with all requirements addressed in their September 18, 2014 memorandum. A copy of the Compliance letter shall also be provided to the Community Development Department.
 - g. The Commercial Building Permit applications (building, HVAC, plumbing, electrical etc.) and required State approved plans.
 - h. A Village Work in the Right-of-Way Permit for all work proposed within 91st and 94th Avenues, 76th Street and Prairie Ridge Blvd.
 - i. For security reasons, the Village requires the construction site to be surrounded with a temporary six (6) foot high chain link fence until verbal occupancy is granted, as noted on the plans. A fence permit is required for the temporary fencing.
 - j. An Erosion Control Permit Application and plans with a copy of the Wisconsin Department of Natural Resources N.O.I. [Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project, if the amount is not drawn upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.]

- k. Written approval of the Site and Operational Plans from the Prairie Ridge Commercial Association, including approval or the proposed regional pond modification and acknowledgement from the Association that they understand that they shall maintain the responsibility for ownership and maintenance of the pond, including the modifications and approval of the Traffic Report.
 - l. Approval and permit is required from Kenosha County Public Works for the proposed construction entrance off of 88th Avenue for the regional pond modification work. A copy of the permit shall be provided to the Village.
 - m. Written approval shall be provided from the utility easement holder(s) for proposed grading, utility, and/or other work within easement limits.
 - n. The Costco/Holiday Inn Express Agreement, along with the Private Roadway Vacation Agreement shall be executed by Costco and Holiday Inn Express.
7. Costco contractor coordination with Holiday Inn Express (JP -Patel) shall be required for the vacation and removal of the private access roadway and with the reconstruction of the driveway/parking/pavement markings/relocated stop sign for the Holiday Inn Express. A work in the right-of-way permit will be issued by the Village for this work.
 8. Impact fees shall be paid prior to issuance of the building permit. (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department's Marshall & Swift analysis).
 9. Prior to work commencing on the site, all required State and Village permits shall be issued. All required erosion control measures, shall be in place on the site prior to construction start. Also, a pre-construction meeting, which includes contractors, architect and engineers, shall be scheduled (contact the CD Department –Jean Werbie-Harris for available dates) and held at the Village Offices. The preconstruction meeting shall be moderated and minutes shall be taken by the Design Engineer of record. Minutes shall be distributed within 7 days. A sample agenda can be provided by the Village CD Department (Jean Werbie-Harris).
 10. After the installation of the footing and foundations and prior to setting the walls, an as-built survey as stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village Building Inspection Department to verify that the building meets all of the required setbacks.
 11. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
 12. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
 13. All uses shall conform to applicable Village Ordinance requirements, and to all other applicable local, County, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water discharges and storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive as determined by the Village shall apply.

14. The owner shall obtain and maintain all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, issued from the various government agencies. Contact the Village Clerk Jane Romanowski for liquor or tobacco license applications and to discuss the process to obtain said licenses. Contact the Kenosha County Health Department regarding food related licenses, inspections and approvals.
15. The use, operations, site, building and structures shall be designed, laid out, constructed and maintained in full compliance with the approved Site and Operational Plans, the Conditional Use Permit, Liquor and Tobacco Licenses and all other applicable provisions of the Village Municipal Code and all other applicable Village, County, State Building Codes, Fire & Rescue Ordinances and national and federal regulations.
16. The use, operations, site, building and structures shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the Performance Standards set out in Section 420-38 of the Village Zoning Ordinance.
17. The owner shall obtain and maintain all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, issued from the various government agencies. Copies of all licenses shall be provided to the Village.
18. The site, building and trash compactor structure shall be maintained in a clean, painted, neat, presentable, aesthetically pleasing, odor-free, structurally sound and nonhazardous condition inside and outside of the store at all times. All litter and debris outside of the structures shall be promptly removed on a daily basis.
19. On-site (off-street) parking shall be designed to accommodate all store customers and deliveries.
20. All signs shall comply with Article X of the Village Zoning Ordinance (Chapter 420) and the specific PUD Ordinance #14-23 for this development. Signs shall not be located within any Village Easement but may be allowed within a Utility Easement with written approval from We Energies. A permit is required to be issued prior to installation for most signs including the primary monument sign, on-site directional signs and wall signs. For a complete listing of prohibited signs refer to the Article X of Chapter 420 of the Village Municipal Code. Note: **The following types of signs are prohibited and shall not be installed.**
 - a. Any sign with flashing or pulsating lights.
 - b. Any inflatable sign, including but not limited to tethered balloon signs or other gas-filled figures.
 - c. Any temporary, spring-action metal advertising sign used, for example, to advertise cigarette or gasoline prices or food items for sale.
 - d. Any spotlights used as visual attention-getters.
 - e. Banner signs affixed to the buildings landscaping or canopy poles, except for 21 days for the grand opening.
 - f. Strings of lights, tinsel, pennants, pinwheels or other similar devices hanging between two points or attached to light poles, cars, landscaping or structures on the property.

- g. Advertising signage on, banded to or affixed to the gas pumps or lights.
 - h. Advertising signage affixed to or painted on the bollards, picnic tables, lighting, landscaping, building, car wash, picnic areas, canopy, garbage or recycling cans, painted on the pavement.
 - i. A-frame advertising signs in the parking lot or on the sidewalk.
 - j. Banners attached or affixed to the parking lot light standards/poles.
21. Costco delivery trucks shall not utilize Prairie Ridge Boulevard for access to and from the Costco site. Costco and other semi-trucks shall arrive at the site via STH 50 south on 91st or 94th Avenues. As needed, the Village will install "No Semi-Truck Deliveries" signs on Prairie Ridge Boulevard to re-direct semi-truck traffic from using Prairie Ridge Boulevard for deliveries/departures.
 22. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
 23. The garbage/trash compactor shall be properly maintained and painted on a regular basis. An angled screen wall shall screen the compactors from 91st Avenue.
 24. No outside storage of any racking, recycling, products, raw materials, building materials, metal racking, displays, etc. Cardboard and other recycling must be kept inside the dock area for pickup.
 25. No outside overnight cart storage shall be allowed. Carts shall be retrieved prior to the close of business each night. Carts and overflow carts shall be stored inside.
 26. No outdoor temporary garden sales with hoop greenhouses in the parking lot.
 27. There shall be no pods or temporary trailers parked on site storing products.
 28. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations.
 29. No vehicles or boats for sale shall be placed exterior of the store in the parking lot or on the exterior sidewalk areas outside of the building envelope.
 30. As a general requirement, no overnight truck/trailer parking shall be permitted for delivery trucks or semi-trucks on the site. However, occasional exceptions will be permitted (in the truck dock area only) during peak holiday seasonal time periods, wherein trucks may be docked for limited periods of time.
 31. No outside loud speakers shall be utilized in the dock or parking lot areas.
 32. No changes to the exterior site, building or structures shall be made without the Village's approval. No painting of the exterior of the buildings shall be permitted, unless expressly permitted by the Village.
 33. No outside sales/storage is allowed accept for one 2-week outdoor Christmas tree tent/truck sale in December each year adjacent to the building. Sales require a Village Christmas tree license.
 34. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 9:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.

35. Passenger vehicle parking only for contractors/workers (no construction equipment, trailers and no construction vehicles) may be allowed to be parked on 91st Avenue only away from the entrance to BMO Harris and the nearby 91st Avenue intersections-insofar as it does not cause a disruption to the adjacent businesses. No contractor/worker parking shall be allowed on 76th Street, 94th Avenue or Prairie Ridge Boulevard. (Contact neighboring St. Anne – Father Bob 262 942-8300, the Church may permit contractor daytime parking in their eastern lot.)
36. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in any rights-of-way and all construction related signage shall be approved and permitted by the Village. Obtain a Village electric permit for any temporary electric to the job site.
37. All contractor and developer signage is limited in scope, size and location per the Ordinance. Contact Peggy Herrick, Assistant Zoning Administrator for regulations and sign permitting.
38. Prior to occupancy, each handicapped parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
39. A low voltage electrical permit is required prior to the DSIS system installation. Both the Village electrical inspector and IT Department will inspect installation of the DSIS.
40. Prior to occupancy all site and building signage shall be installed per the approved plans and written verification from the sign installer (on letterhead) shall be provided to the Village that the signage has been installed in accordance with the sizes, locations, number as shown on the approved signage plan.
41. Prior to occupancy all required landscaping shall be installed. A written letter of verification and certification (on letterhead) shall be provided to the Village by the landscape designer that all landscaping has been installed in accordance with the type, locations, size and quantity approved landscape plan prior to the issuance of a certificate of compliance/occupancy.

If weather conditions prevent installation of all or portions of the landscape materials, the owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
42. Prior to written occupancy, three (3) copies of a building and site as-built plans, stamped by a Wisconsin Registered Land Surveyor, shall be submitted to the Village to verify that and all impervious surfaces meet the minimum setbacks and that all signage and pavement markings were installed per the approve site plans and the grading and modified storm water basin for the site was completed pursuant to the approved Site and Operational Plans.

43. Prior to written occupancy, an as-built record drawing of graphical data of the new utilities and the storm water retention basin shall be provided to the Village for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
44. All Village fees incurred by the Village Engineer, Village Inspectors and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
45. All Village fees incurred by the Village Community Development Department and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.



Office of the
Chief of Fire & Rescue
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Deputy Chief, Craig Roepke
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Concept Plan for Costco Wholesale, 91st Ave and Prairie Ridge Boulevard.
DATE: September 18, 2014

This is a review of the Plans dated 9/3/2014 for Costco Wholesale. The facility is proposed to be 153,955 square feet.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.



Upon review of the plans submitted, we have the following concerns:

- AED. Because of the overall building size the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and customer use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire Alarm Control Panel: The main FACP will be placed in the fire pump room, if facility has a fire pump room. Remote annunciator panel location(s) will also need to be determined.
- Knox Box key box locations will need to be determined. This may require several Knox Boxes in order to provide fire department access. All Knox Boxes shall be recess mounted.
- Both the fire department sprinkler connection and the fire hydrant, (pumper pad), shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. Shown with only a fire hydrant on the south side of the building. The fire department connection will also need to be provided as per the current Fire and Rescue Department drawing. The area in front of the pumper pad must be striped and have signage to indicate that there is no parking in that area and that we have clear access to the area at all times.
- Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. Plan C500 shows the hydrant on the northwest corner of the building is 450' from the nearest hydrant to the south and over 600' to the nearest hydrant on the northeast side of the building. Fire hydrants are not provided on the east side of the building by the building. The building owner shall supply a written letter stating that they will maintain access to the municipal street hydrants in lieu of providing hydrants on the east, west and north sides of their property. Maintaining access includes snow removal, weed control, etc.
- On plan C500 dated 9/3/2014 the water main is shown as being fed from the northeast side of the building and dead ending at the pumper pad/fire pump room. Plans C520-C523 show completely different connection points. Corrected underground fire protection plans must be submitted for review by the Fire & Rescue department.
- The underground fire main size must be determined by a Wisconsin Licensed Fire Sprinkler designer. The plans dated 9/3/2014 are not stamped by a Wisconsin Licensed Fire Sprinkler designer.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department per our ordinance for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
- Any canopy must be constructed to at the minimum height allowed by the International Building Code.

- Truck staging shall not decrease the width of the fire lanes to less than 30 feet.
- Rack storage: If it is the intent to use rack storage, that rack storage configuration must be reviewed by the fire protection contractor to assure adequate fire sprinkler protection. Rack storage shall not adversely affect the maximum exit distance requirements. This process needs to begin immediately to assure no interruption in the construction timeline and to assure the opening date will be met.
- Severe Weather Shelter: The architect shall identify the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado. That area will be identified with signage.
- On plan C 300 dated 9/3/14 there are five (5) access doors indicated on the east side. These doors will need to have a hard surface from each door leading to another hard surface such as a sidewalk or parking lot that is wide enough to have required exit pathways clear even while the doors are open. The plan shows that when the doors are open the exit pathways are almost completely blocked. Due to snow accumulation in this area the exit/entrance must be maintained as a continuous pathway from the door to a place of safety away from the building.
- All outside doors must have access to the interior. Such as a lock and handle provided at each door.

Telgian report dated 6/23/14, Pleasant Prairie Fire and Rescue response:

- 1.1 Incorrect address for the Costco Wholesale store in Pleasant Prairie, WI
- 2.1 The State of Wisconsin uses the 2009 edition of the International Building Code with only the specific references to the International Fire Code used.
- 2.2 Pleasant Prairie Ordinance 180-16 H. (1) adopts the most current printed edition of all NFPA documents.
- 4.1 Separations between the Tire Installation area and Tire Sales area, along with the Food Service area will require further discussion between the architect and the fire department.
- 5.1 Display of motor vehicles will need to comply with the current adopted edition of NFPA 1.
- 5.4 Tire storage will need to comply with the applicable NFPA code.
- 6.3 Solid piled storage will need to comply with NFPA codes, 20 feet may be an excessive height for a given commodity and fire protection.
- 8.2 All fire sprinkler plans and fire alarm plans are reviewed by the Fire and Rescue Department along with review from an independent consulting firm to assure design and installation compliance.
- 10.1 Small hose valve connections will need to be installed by each access door. The Fire and Rescue Department will not accept section 8.17.5.1.3 #1 in NFPA 13. Please refer to local ordinance 180-16 I. (2).
- 12.2 The FACP will be installed in the fire pump room, if no fire pump room is needed the location will be approved by the Fire and Rescue Department. Local ordinance V. (3)
- 12.3 Exterior notification of a fire sprinkler activation will need to comply with local ordinance M (1) and (2). This may require several strobe/bell devices on the outside.
- 12.5 Pull station fire notification devices will be required at each exterior access door. IFC section 907.2.7 exception will not be permitted.**
- 12.9 Fire alarm system wiring in the jurisdiction of the electrical inspector and will need approval.

4. **Fire and Rescue Department Review and Comments:**

A. Site and Operational Permits

1. Site accessibility
2. Fire Pump Location
3. Pumper Pad
4. Fire hydrant spacing

B. Conditional Use and Operational

- | | |
|--------------------------------|--------------------------------|
| 1. Standpipe outlet locations | Not shown at this time. |
| 2. Fire alarm pull stations | Not shown at this time. |
| 3. Emergency and Exit Lighting | Not shown at this time. |
| 4. Fire extinguishers | Not shown at this time. |

5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
7. **Hazardous Occupancies:** The Fire & Rescue Department will need more than the typical four week time period to review proposed Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.
8. **The following information must be submitted with the sprinkler plans for review:**
 - Building height:
 - Number of stories/floors:
 - Mezzanines:
 - Elevators:
 - Hazard class:
 - Commodity:
 - Maximum storage height:
 - Square footage, office space:
 - Square footage, receiving space:
 - Square footage, shipping space:
 - Square footage, warehouse space:
 - Exterior storage:
 - Fire protection:

9. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

Bulk Water

- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans
- Occupancy Permit & Re-Inspection fees

Permit fees must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

10. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

11. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department, Building Inspection Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.

12. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.

- a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
- b. All exterior exit pathways as well as access to the Fire Pump Room shall have a hard surface, leading to a hard surface.
- c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.

13. **Sprinkler System:** The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.

14. **Fire Pump:** There shall be sufficient room to maneuver within the fire pump room. There shall be direct ingress/egress from the fire pump room directly to the exterior of the building; a paved surface shall lead to the fire pump room. There shall be Emergency Lighting installed within the Fire Pump Room. The pump test header location shall comply with 180-16. There shall also be sufficient room for placement of the Fire Alarm Control Panel (FACP), along with the required maps of the fire

protection systems.

- **Storage:** The Owner needs to be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.
NOTE: Dependent upon storage configurations and the possible use of in rack storage; in rack sprinkler protection may be required.
15. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
 16. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
 17. **Standpipes:** Standpipes shall be provided in the warehouse/storage areas of the building. In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve, when supplied by the fire department pumper, in the event no fire pump is needed. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.
 18. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
 19. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief’s representative, the installing contractor and the fire sprinkler contractor at a minimum.
 20. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
 21. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a ‘clean water sample’ on this site.

NOTE: The Fire Protection Designer must meet with the Fire & Rescue Department before the underground drawings are submitted for review to finalize the placement of the hydrants.

22. **Pumper Pad:** There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. A guideline detail is attached and is meant to illustrate the requirements needed to meet the requirements stated in Village Ordinance 180-16.

NOTE: The Fire Department Connection riser shall include a single five (5) inch Storz fitting.

23. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
24. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.
25. **Fire Alarm System: The system shall be fully addressable so that detailed information will be received about the device in alarm.** Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **Fire Alarm Control Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - f. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - g. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. i.e. Phone line, RF Radio and /or Cellular technologies.

h. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire: Pleasant Prairie Fire & Rescue

Medical: Pleasant Prairie Fire & Rescue

Phone numbers:

Emergency: (262) 694-1402

Non-emergency: (262) 694-7105

Business: (262) 694-8027

26. **Knox Box:** Knox Boxes shall be provided for the building, a determination of the exact number required will need to be made during the pre-construction meeting. One by each riser door, fire pump room and other needed access routes. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.

27. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided for each tenant to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Pump Room.

28. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.

29. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. An Emergency light shall be placed within the fire pump room.

30. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is “100% operational and built according to the design”, Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.
 - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - d. Copies of the fire protection underground flushing documents.
 - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - f. Copies of the fire sprinkler operational test certificates.
 - g. Copies of the fire alarm test documents.
 - h. Copies of other test documents such as, hood/ duct, smoke, etc...
 - i. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - k. Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado.
 - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
 - m. AED, in place at such time a tenant takes occupancy.
 - n. A copy of the tenants Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.
31. **Fees:** Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
32. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.
33. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:
- a) a minimum signal strength of -98 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
 - b) a minimum signal strength of -98 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
 - c) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a “Telecommunications Systems Bulletin” published by the TIA, Telecommunications Industry Association. The performance level is rated using “Delivered Audio Quality”. Industry standard DAQ definitions are shown in Table 1.
 - d) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

Table 1 - Delivered Audio Quality Definitions

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

e) The frequency range which must be supported shall be 151.0000 to 159.0000 MHz.

Testing Procedures:

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

Amplification Systems Allowed

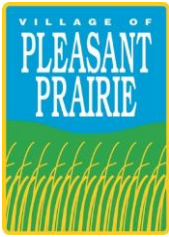
Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage; a radiating cable system or an internal multiple antenna system with or without FCC typed-accepted signal booster amplifiers as needed. If any part of the installed system or systems contains electrically powered components, the system shall be capable of operating on an independent battery and/or generator system for a period of at least twelve (12) hours without external power input. Any battery system employed shall automatically recharge in the presence of an external power input.

The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio system.

In the event that a signal booster is employed, it shall be fully encased within a dust and water resistant case.

Field Testing

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.



Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director
From: Sandro Perez, Building Inspection Superintendent
Subject: Site and Op's review for Costco
Date: September 17, 2014

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance. We have 10 business days to review and issue permits please plan accordingly. If there are any question on which contractors need a permit please contact us.
5. We inspect to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. All state approved drawing must be available at job site for inspector review.
7. Please submit emergency egress path / lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
8. Fire alarm systems require two permits and two inspections, one from the Fire Department and one from the Building Inspection Department.
9. Any exterior building fire protection loop will require inspection by both the Fire Department and Building Inspection Department.
10. VOPP recommends all exterior lot and building lighting to be LED and Dark Sky compliant and within the same color temperature.

11. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.
12. All equipment must be “LISTED” by a nationally recognized testing laboratory.
13. Documentation must be provided for available fault current at equipment, to verify short circuit current rating compliance per 2011 NEC 110.10
14. All equipment, materials, etc. must be rated for the environment in which they will be used.
15. Please note erosion control standards must be adhered to at all times during construction. The building inspection department will not perform any inspection if the erosion control measures are non-compliant.
16. There is a large range of lighting color temperatures (3500K-5700K) for the interior fixtures in addition to some not noted.
17. There are no site light poles at entrances.
18. There are five site light poles in parking areas with no islands.
19. Is the monument sign lit?
20. I noticed a discrepancy for the building sign lights, on the print pg.E-3 it shows them as type F1 and on the lighting fixture schedule they are shown as type F. Are they one in the same and can you provide cut sheets on the arm assembly?

DRAFT**AGREEMENT REGARDING DIGITAL SECURITY IMAGING SYSTEM ("DSIS")
BETWEEN THE VILLAGE OF PLEASANT PRAIRIE
AND COSTCO WHOLESALE CORPORATION**

THIS AGREEMENT regarding the Digital Security Imaging System (DSIS) (hereinafter referred to as the "Agreement"), is entered into this ____ day of _____, 2014, by and between the VILLAGE OF PLEASANT PRAIRIE, WISCONSIN, a Wisconsin municipal corporation with offices located at 9915 39th Avenue, Pleasant Prairie, Wisconsin 53158 (referred to as the "Village") and COSTCO WHOLESALE CORPORATION, a _____ Corporation with a business address of _____ (referred to as "Costco"). In this Agreement, Costco is referred to as the "Owner".

WITNESSETH:

WHEREAS, the Village Board conditionally approved a Certified Survey Map (CSM) # _____ on _____, 2014 for a 17.54 acre parcel. The Owner of the real estate commonly known as Lot 1 of CSM # _____, (**Exhibit A**) was recorded in the Office of the Register of Deeds for Kenosha County, Wisconsin as Document No. _____, as being a part of the Northeast One-Quarter of U.S. Public Land Survey Section 8, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin. Lot 1 is further identified as Village Tax Parcel # 92-4-122-081- and known as the "Owner's Property" in this Agreement; and

WHEREAS, the Owner's Property is presently zoned B-2, Community Business District, with a Conditional Use Permit granted by the Village Plan Commission on _____, 2014, which zoning classification and special use permit allows for subject to certain conditions as noted in the attached Conditional Use Permit; (**Exhibit B**) and

WHEREAS, The Owner desires to proceed with the development of the Costco with an address of _____, Pleasant Prairie, WI 53158, consisting of a 153,962 square foot warehouse and tire center with a four island, canopied gasoline fueling facility containing 16 pumping positions on a 17.54 acre development site; and

WHEREAS, the Owner's anticipated hours of operation for the warehouse are Monday-Friday, 10:00 a.m. to 8:30 p.m., Saturday (:30 a.m. to 6:00 p.m. and Sunday, 10:00 a.m. to 6:00 pm. and the anticipated hours of operation for the gas station are 6:30 a.m. to 10:00 p.m.

WHEREAS, the hours for the warehouse and gasoline truck deliveries shall only be between 6:00 a.m. and 10:00 p.m. The gasoline pumps shall not be operated unattended--no 24-hour gas pump services are allowed. Direct driveway

access to the site shall be provided from 76th Street, 91st and 94th Avenues as shown on the site plan travel paths; and

WHEREAS, the Village Plan Commission conditionally approved the Preliminary Site and Operational Plans for the Costco on _____, 2014; and

WHEREAS, the Village Plan Commission conditionally approved the Final Site and Operational Plans for Costco on _____, 2014; and

WHEREAS, the Village Board of Trustee approved a PUD, Planned Unit Development Zoning Overlay (**Exhibit C**) for Costco on _____, 2014; and

WHEREAS, Section 410, the Security Ordinance and Section 420-145 E. and F of the Village Conditional Use Permit regulations of the Village Zoning Ordinance provides authority for the Village Plan Commission to require additional provisions such as a Digital Security Imaging System (DSIS) in order to assist in protecting the public's health, safety and welfare as referenced below; and

WHEREAS, the implementation and usage of the DSIS will greatly aid law enforcement agencies in subsequent criminal investigations and prosecutions because of the advanced visual assessment of the Property as it may pertain to a person or persons (personal identification), a location (scene identification) and/or a situation (action identification) in emergency situations; and

WHEREAS, the implementation and usage of the DSIS will greatly aid Village fire and rescue personnel in responding to emergency situations at the Owner's Property; and

WHEREAS, Section 410-7 of the referenced Security Ordinance Chapter of the General Code of the Village provides the authority to the Community Development Department to have the discretion, on a case by case basis, to determine the adequacy, ownership and easement requirements of the DSIS. Further, the Community Development Department has the right to modify certain requirements of Chapter 410 pertaining to the details of the security system, and the Department has agreed to do so, based upon this Agreement being executed between the parties; and

WHEREAS, the Owner and the Village Community Development Department have reached an agreement under Section 410-7 that the Owner shall install, inspect and maintain the DSIS per the Village's Security Ordinance requirements, except as modified by this Agreement. Further, the Owner shall grant a **DSIS Access Easement (EXHIBIT D)** to the Village allowing access and maintenance rights to the Costco DSIS system and areas associated with the DSIS insofar as the Village has the right, but not the obligation, to maintain the DSIS system at the Owner's cost, if the Owner fails to do so; and

WHEREAS, the Owner recognizes that the Village may incur some inspection or maintenance costs with respect to the inspection or maintenance of the DSIS system on the Owner's Property and said costs shall be provided to the Owner via an itemized invoice. The Owner has agreed to reimburse the Village for certain referenced costs related to the DSIS system monitoring and inspection, provided however, that such costs shall be reasonable and directly attributable to Owner.

NOW, THEREFORE, in consideration of the promises and covenants contained herein, the sufficiency of which is hereby acknowledged, the Owner and the Village agree as follows:

1. Video Surveillance and Easement Requirements. As a pre-condition to the Village granting any verbal building occupancy permits required by the Owner for Costco to be occupied, the Owner shall install, make operable and usable to the satisfaction of the Village, the on-site DSIS for security surveillance purposes. The DSIS shall be the system described in **Exhibit E** which was created pursuant to the proposal prepared by _____, _____ with an address of _____, _____ and with a telephone number of _____, _____ for the Owner, with the plans and video surveillance hardware specifications received on _____, 2014. The Owner will hire a qualified contractor who shall install the DSIS. During the installation of the DSIS as provided herein, the Village shall have the right to inspect the DSIS at the Owner's expense.

After the installation, and Village inspection and system testing is complete, and if it meets with the approval of the Village, the Village shall notify the Owner of the Village's acceptance of the DSIS. The Owner agrees to sign and deliver to the Village copies of any and all documents (e.g. DSIS installation and warranty information, copies of paid invoices for the work performed, copies of contractor lien waivers and an as-built drawing of the DSIS) that are reasonably requested by the Village to confirm such installation and operation of the DSIS to the Village. The DSIS shall be installed with at least a one (1) year warranty from the manufacturer and installer. The Owner shall be solely responsible for the costs for the purchase and installation and the subsequent ongoing maintenance of the DSIS.

In the event that the Owner alters the building, adds on to the building or otherwise changes or increases the landscaping or development on their Property, such Owner shall be responsible for installing, at the Owner's sole expense, such additional cameras and other exterior DSIS as the Village determines are necessary and appropriate to carry out the purposes of this Agreement. The initial DSIS system installed in accordance with **Exhibit E** and any future additions to such system as exterior building alterations or changes within the development or new or additional development takes place on the Owners' Property, shall all be referred to as the "DSIS" for purposes of this Agreement.

a. Digital Security Imaging, Storage Devices, Related Equipment and Easements Required.

i. The DSIS shall provide for surveillance of all of the exterior building perimeters, building entrance/exit areas, rear and side areas, walkways, picnic areas, parking lots and parking lots entrances within the development. The DSIS as described in **Exhibit E** shall adequately cover the Owner's Property as the Village deems reasonably necessary. If any changes or expansions are made to any portion of the Owner's Property, the determination as to the number and type of cameras which are reasonably necessary for the Village's surveillance needs shall rest within the reasonable discretion of the Village. All parties acknowledge it is the intent of the parties that the DSIS camera equipment will be located on exterior light standards of the Owner's Property and attached via non-penetrating building mounts, as shown on **Exhibit E**. Any DSIS equipment added after any change to the Costco property shall be at the sole discretion of the Village. Costco will utilize its best efforts to ensure that the DSIS is as aesthetically tasteful and architecturally harmonious as reasonably possible. Without limiting the discretion of the Village under this Paragraph, the parties agree that any cameras and systems which are consistent with those contained in **EXHIBIT E** are aesthetically tasteful, architecturally harmonious and satisfactory to all parties.

ii. The DSIS will function as set forth in **Exhibit E** and as deemed necessary by the Village, which shall function continuously, whether the business is open or closed and shall provide visible surveillance to the above described areas during hours of daylight and darkness. As such, sufficient light, as determined by the Village, shall be provided during the evening or night-time hours to guarantee the function, operation and clear viewing by the infra-red camera system.

iii. The Owner agrees to provide the DSIS in a locked and secured location within the Costco Warehouse on the Owner's Property that will be accessible for inspection and electronically accessed via a separate VPN internet connection with the assistance of the Owner. The Owner agrees that only managerial employees of the Owner, any contractors to the extent necessary for installation, maintenance and repair of the DSIS, and representatives of the Village for inspection, shall have access to the secured location. The Owner shall provide the Village access to the secured location as provided herein upon reasonable verbal or written advance notice from the Village to Owner. Notice given twenty-four (24) or more hours in advance shall conclusively be deemed reasonable and notice given less than twenty-four (24) hours in advance may also be reasonable depending upon the circumstances.

iv. The Owner agrees to be responsible for all financial costs associated with the monthly billings for the utilities, electricity and high speed internet business connection for the DSIS equipment by making payments directly to the utility and communication companies. The Owner shall also be responsible for the heat, electricity and routine maintenance of the secured security area which houses the DSIS equipment.

v. All digital video recorded by such system shall be archived in the secured area for a period of not less than two (2) weeks and shall

be available to the Village Police Department for public safety purposes directly through Internet Protocol (IP) transmission via the Village's area-wide data network and shall also provide a "real time", "live look" surveillance capability via that same network. The Village Police Department shall have log-in capabilities to the DSIS "live-look" system on the Property independent of the Owner's personnel. In addition, Village fire and rescue personnel may also view the digital video and live stream from the DSIS to assist them in responding to any emergency on the Owner's Property. Proper software security keys and logins will be provided to the Village Police and IT Departments to provide immediate access to both "real time" access as well as historical video as required.

vi. The Owner shall grant a permanent Access Easement to the Village allowing access and maintenance rights, if the Owner fails to maintain the DSIS, to all such systems, equipment, devices and areas associated with the DSIS. The Village shall have the right, but not the obligation, to maintain the DSIS system at the financial cost of the Owner. All expenses incurred by the Village for the maintenance of the DSIS shall be paid to the Village by the Owner within thirty (30) days following written demand by the Village. At the time of the execution of this Agreement by the Owner, the Owner shall also execute the recordable Access Easement document attached hereto as **Exhibit D** and incorporated herein by reference.

b. Costs for the Video Surveillance System.

i. The Owner shall have exclusive ownership and sole responsibility for the installation, operation, monitoring and maintenance of the DSIS. The Owner further covenants to operate, update and maintain the DSIS in good condition and repair. The Owner shall be responsible for the: (a) costs of installation, (b) internet connection for the DSIS with a static IP address assigned to the DSIS connection and (c) inspection, equipment maintenance, repairs, insurance, and replacement and upgrading of the DSIS as necessary with such upgrading as needed being only for a reasonably comparable replacement of any equipment then being used in the DSIS.

ii. As referenced above, the Owner has agreed to provide utilities to serve both the DSIS equipment and the secured area housing the DSIS. The Owner, at its sole cost and expense, shall also provide a conduit running to the security cameras as described in **Exhibit E** for low voltage as well as a separate conduit running to the cameras for high voltage. The Owner shall provide a business broadband internet connection to serve the DSIS. This broadband internet connection shall represent a clear, non-pixelated video image transmission to the Village Police Department and shall be reasonably acceptable to the Village IT Department.

c. Termination. The Owner may not terminate the DSIS at any time without prior written approval and notice from the Village. The Owner shall notify the Village Police Department Dispatch Center via the telephone and by U.S. mail to the persons as noted below whenever the DSIS is inoperable or the DSIS is

unusable due to maintenance or testing. Further, if the DSIS is deemed by the Village as being inoperable or unusable for a time period in excess of 30 days without notification to the Village, the Owner shall be deemed to be in violation of Section 410 of the Village Code.

2. Miscellaneous.

a. Governing Law; Venue. This Agreement shall be governed by and construed in accordance with the laws of the State of Wisconsin. The parties agree that any dispute under this Agreement shall be venued only in the Circuit Court for Kenosha County.

b. Attorneys' Fees and Interest. If either party defaults in the performance or observation of any of the terms, conditions, covenants or obligations contained in this Agreement and the complaining party places the enforcement of all or any part of this Agreement in the hands of an attorney, of if that party incurs any fees or out-of-pocket costs in any litigation, negotiation or transaction, the party that substantially prevails in any such dispute shall be reimbursed for its actual attorneys' fees and costs incurred thereby, whether or not litigation is actually commenced. Any sums not paid when due, including without limitation any maintenance fee, shall, in addition to all other amounts owed under this Agreement or applicable law, accrue interest from the due date until paid at eighteen percent (18%) per annum.

c. CCTV Video Release Statement. The Village agrees not to release any digital video recorded by the DSIS, nor any portions thereof, to the news media without providing prior notice to one of the Owner contacts listed below, including the date, time, and information regarding the incident which the video pertains to.

The Village agrees that neither digital video recorded by the DSIS, nor any portions thereof, will be released to the news media or any third-party, except as a part of the criminal justice system, to employees of the Village, and as otherwise required by applicable law, without prior investigation and proper due diligence conducted by the Village or its employees or contractors. The Owner is not responsible for conducting any investigation involving such digital video or of the matter which constitutes the substance of the criminal investigation. The terms of this paragraph shall apply to all digital video recorded by the DSIS and obtained or used by any employee or agent of the Village.

d. Entire Agreement. This Agreement contains the entire understanding among the parties and supersedes any prior understanding and agreements between them respecting the within subject matter. There are no

representations, agreements, arrangements or understandings, oral or written, between or among the parties hereto relating to the subject matter of this Agreement which are not fully expressed herein.

e. Severability. This Agreement is intended to be performed in accordance with, and only to the extent permitted by, all applicable laws, ordinances, rules and regulations. If any provision of this Agreement, or the application thereof to any party or circumstance, shall, for any reason and to any extent, be invalid or unenforceable, the remainder of this Agreement and the application of such provision to the other party or circumstances shall not be affected thereby, but rather shall be enforced to the greatest extent permitted by law.

f. Binding Agreement. This Agreement shall be binding on the parties and their successors and assigns and shall continue as a covenant and servitude running in perpetuity with the Owner's Property. This Agreement may be recorded with the Kenosha County Register of Deed's Office against the Owner's Property.

g. Notices. Any notice which a party is required or may desire to give the other party shall be in writing and may be delivered (1) personally by United States registered or certified mail, postage prepaid, or (2) by Federal Express or other reputable courier service regularly providing evidence of delivery (with charges paid by the party sending the notice). Any such notice shall be addressed as follows (subject to the right of a party to designate a different address for itself by notice similarly given):

If to the Owner: _____

If to the Owner: _____

If to the Village: Village of Pleasant Prairie
9915 - 39th Avenue
Pleasant Prairie, WI 53158
Attn: Michael R. Pollocoff, Village Administrator

And to the Village: Village of Pleasant Prairie
Community Development Department
9915 - 39th Avenue
Pleasant Prairie, WI 53158

Attn: Jean M. Werbie-Harris, Community Development Director

And to the Village: Village of Pleasant Prairie - Police Department
8600 Green Bay Road
Pleasant Prairie, WI 53158
Attn: David Smetana, Police Chief

h. Amendment. This Agreement may not be amended, altered or modified except by an instrument in writing and signed by the parties hereto.

i. Ordinance. The DSIS program under this Agreement shall be deemed to be sufficient to meet the current requirements set forth in the Chapter 420-145, Village Zoning Ordinance Conditional Use Permit provisions and Chapter 410, Village Security Ordinance provisions of the Village Municipal Code.

j. Village's Contractors and Work. Any contractor that may come onto any Owner's Property on behalf of the Village shall carry a non-deductible (a) commercial general liability insurance policy, including (but not limited to) contractor's liability coverage, contractual liability coverage, completed operations coverage, broad form property damage endorsement and contractor's protective liability coverage, to afford protection, with respect to personal injury, death or property damage of not less than One Million Dollars (\$1,000,000) per occurrence combined single limit/One Million Dollars (\$1,000,000) general aggregate (but not less than \$500,000 per location aggregate); (b) comprehensive automobile liability insurance policy with a combined single limit for each occurrence of not less than Three Hundred Thousand Dollars (\$300,000) with respect to personal injury or death and property damage; and (c) worker's compensation insurance policy or similar insurance in form and amounts required by law. The Village shall carry similar amounts and types of insurance when it enters onto any Owner's Property, provided, such insurance may be provided through the municipal insurance plan of the Village.

k. Liens. Notwithstanding the provisions of this Agreement, the Owner shall pay promptly all persons furnishing labor or materials with respect to any work performed by the Owner or its contractors on or about any Owner's Property. If any mechanic's or other liens shall at any time be filed against any Owner's Property by reason of work, labor, services or materials performed or furnished, or alleged to have been performed or furnished, the Owner shall forthwith cause the same to be discharged of record or bonded.

l. Signing of Documents. Each party shall sign and deliver any documents which this Agreement requires such party to sign, no later than ten (10) days following written request by another party.

IN WITNESS WHEREOF, COSTCO WHOLESALE CORPORATION has executed this DSIS Agreement on this ____ day of _____, 2014.

By: _____
Name: John P. Steinbrink
Title: Village President

ATTEST:

By: _____
Name: Jane M. Romanowski
Title: Village Clerk

STATE OF WISCONSIN)
) SS.
COUNTY OF KENOSHA)

This instrument was acknowledged before me in Pleasant Prairie, WI on this ____ day of _____, 2014, by John P. Steinbrink and Jane M. Romanowski, as the duly authorized President and Clerk, respectively, of the VILLAGE OF PLEASANT PRAIRIE, WISCONSIN, a Wisconsin municipal corporation.

Name: _____
Notary Public, State of Wisconsin
My Commission expires: _____

This instrument drafted by:

Attorney Timothy J. Geraghty
Godin Geraghty Puntillo Camilli, S.C.
6301 Green Bay Road
Kenosha, WI 53142

And

Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 - 39th Avenue
Pleasant Prairie, WI 53158

EXHIBIT A
TO AGREEMENT REGARDING DSIS SECURITY SYSTEM
COPY OF CERTIFIED SURVEY MAP # _____

[Attached hereto]

EXHIBIT B

TO AGREEMENT REGARDING DSIS SECURITY SYSTEM

COPY OF VILLAGE CONDITIONAL USE PERMIT #14-__

[Attached hereto]

EXHIBIT C

TO AGREEMENT REGARDING DSIS SECURITY SYSTEM

COPY OF THE PLANNED UNIT DEVELOPMENT ORDINANCE #14 - ___

[Attached hereto]

EXHIBIT D

TO AGREEMENT REGARDING DSIS SECURITY SYSTEM

COPY OF DSIS ACCESS EASEMENT

[Attached hereto]

EXHIBIT E
TO AGREEMENT REGARDING DSIS SECURITY SYSTEM
COPY OF THE DSIS PLAN

[Attached hereto]

ACCESS EASEMENT

THIS ACCESS EASEMENT is entered into this ____ day of ____, 2014 by and between the Grantor, COSTCO WHOLESALE CORPORATION, a ____ corporation (the "Landowner") and the Grantee, the VILLAGE OF PLEASANT PRAIRIE (the "Easement Holder").

RECITALS

A. The Landowner is the owner of certain real estate in the Village of Pleasant Prairie, Kenosha County, Wisconsin, which is legally described in **Exhibit A** and incorporated herein by reference (collectively the "Landowner's Property").

B. The Easement Holder has entered into a Security Agreement with the Landowner for the right but not the obligation for the installation and maintenance of an exterior Digital Security Imaging System ("DSIS") upon Landowner's Property for security surveillance purposes (the "Agreement").

C. In connection with the above-referenced Agreement, the Landowner has agreed to convey to the Easement Holder access and maintenance rights to all such systems, devices and areas associated with the DSIS.

D. The Easement Holder acknowledges and agrees that the Landowner will utilize the Landowner's Property for the development and operation of a membership wholesale warehouse, providing a variety of merchandise products for consumers and businesses, a tire center and a gas station referred to as "Costco" and the Easement Holder shall not unreasonably interfere with said use and operation of the Landowner's Property by the Landowner.

GRANT OF ACCESS EASEMENT

In consideration of the facts recited above, the Landowner and Easement Holder agree as follows:

1. Grant of Easement. The Landowner hereby grants and conveys to the Easement Holder, its contractors and agents, a perpetual, non-exclusive, rent-free, access and maintenance easement (the "Access Easement") over and through the exterior of the improvements located on that portion of the Landowner's Property required for the installation, maintenance and use of said DSIS, related electrical work and internet access, and if applicable to a secured area generally located as described

Recording Area

Name and Return Address:

Jean M. Werbie-Harris
Community Development Dept.
Village of Pleasant Prairie
Municipal Building
9915 - 39th Avenue
Pleasant Prairie, WI 53158

Parcel Identification Number:

92-4-122-081-__

in the DSIS Security Agreement, which location may be relocated by mutual agreement of the parties (the "Easement Property"). All utility lines shall be underground. The Landowner shall supply electricity, heat and internet connection services for the DSIS as provided in the Agreement.

2. Use of Access Easement. The purpose of the Access Easement is to provide for the installation, operation and maintenance of a DSIS in accordance with a Security Agreement between the parties and other property owners dated on or about July __, 2014 (the "Agreement"), the terms and conditions of which are hereby incorporated in this Access Easement. Nothing in this Access Easement is intended to prohibit use of the Access Easement area by the Landowner, provided such use does not materially interfere with the use of the Access Easement by the Easement Holder. The Easement Holder agrees that it will not materially interfere with the normal operation and use of the Landowner's Property by the Landowner and its occupants, and that its equipment shall not impair the visibility of the Costco warehouse facility, site, convenience store front or signage.

3. Improvements. The Easement Holder shall have the right, but not the obligation, to construct and install reasonable improvements upon the Easement Property in accordance with the terms in the Agreement, to make the Easement Property suitable for the installation of a DSIS with as little damage to the Landowner's Property as possible. Subject to the terms of the Agreement, if the Easement Holder undertakes the installation or maintenance of the DSIS, the Easement Holder agrees to use its best efforts to make the DSIS as aesthetically tasteful and architecturally harmonious as reasonably possible while still allowing the DSIS to cover as much of the Costco site as the Easement Holder deems reasonably necessary.

4. Maintenance. The Easement Holder shall have access at all times as it deems necessary for maintaining its DSIS and related equipment on the Easement Property to the extent necessary for the uses described in the Agreement. The Landowner shall pay the Easement Holder a maintenance fee and other fees as described in the Agreement if the Easement Holder undertakes inspections or takes over the responsibilities of the DSIS maintenance, provided however, that such fees shall be reasonable and directly attributable to Landowner. The Easement Holder shall provide to Landowner an itemized invoice.

5. Damage to Easement Property. The Easement Holder shall be responsible for any damage that it may cause to the Easement Property. The Easement Holder shall promptly make all needed repairs, promptly after such damage, restoring the Easement Property to its condition prior to the damage. The Landowner shall promptly make any needed repairs to the Landowner's Property and the DSIS equipment that the Landowner may damage.

6. Obstructions to Use of the Easement Property. The Easement Holder may not utilize the Easement Property in a way that materially interferes with its use by any other person permitted to use it. The Easement Holder acknowledges and agrees that the Landowner's and its future owners or tenants' use of the Landowner's Property may include if permitted by the Village, outdoor events that may occur on the Landowner's Property, which such uses may be allowed, and shall not be considered

an obstruction or impediment to the Access Easement. Furthermore, the Easement Holder acknowledges and agrees that the Landowner has the right to modify and construct new improvements on the Landowner's Property, albeit with the necessary permits, and if said improvements interfere with use of the Access Easement by the Easement Holder, then the Landowner shall bear all costs and responsibility to relocate the DSIS equipment or modify its use of the Easement Property.

7. Indemnity/Insurance/Liens. All costs of installation, operation, and maintenance of the Easement Property and any improvements the Landowner installs thereon will be the responsibility of the Landowner as described in the Agreement, provided however, that such costs shall be reasonable and directly attributable to Landowner. The Easement Holder shall provide to Landowner an itemized invoice.

Any contractor coming onto the Easement Property and/or the Landowner's Property on behalf of the Easement Holder shall carry a non-deductible (a) commercial general liability insurance policy, including (but not limited to) contractor's liability coverage, contractual liability coverage, completed operations coverage, broad form property damage endorsement and contractor's protective liability coverage, to afford protection, with respect to personal injury, death or property damage of not less than One Million Dollars (1,000,000) per occurrence combined single limit/ One Million Dollars (\$1,000,000) general aggregate (but not less than \$500,000 per location aggregate); (b) comprehensive automobile liability insurance policy with a combined single limit for each occurrence of not less than Three Hundred Thousand Dollars (\$300,000) with respect to personal injury or death and property damage; and (c) worker's compensation insurance policy or similar insurance in form and amounts required by law. The Easement Holder shall carry similar amounts and types of insurance when it enters onto the Easement Property and/or the Landowner's Property, provided, such insurance may be provided through the municipal insurance plan of Easement Holder. In connection with any installation, operation, maintenance or inspection of the Easement Property by the Easement Holder or its agents, employees or contractors, the Easement Holder shall indemnify, defend and hold harmless the Landowner from and against any lien, suit, loss, cost, expense (including reasonable attorneys' fees), personal injury, bodily injury or property damage arising from or relating to such activities of the Easement Holder, its agents, contractors or engineers on the Landowner's Property.

Nothing contained herein shall alter or eliminate any obligations of the Landowner to reimburse the Easement Holder for costs and expenses, as provided in the DSIS.

8. Enforcement of Agreement. The Landowner and Easement Holder shall have the right to legally enforce this Access Easement and the covenants, conditions and restrictions set forth herein, by whatever action or actions are legally available, including, without limitation, enjoining any violation or threatened violation hereof.

9. Amendments. This Access Easement may not be modified, amended or terminated except by execution and recording of a written instrument signed by both the Landowner and Easement Holder.

10. Successors. All of the terms, covenants, conditions, and obligations set forth in this Access Easement and the Agreement shall inure to the benefit of and bind the Landowner and Easement Holder, and their respective personal representatives, heirs, successors, transferees, assigns, and all future owners of the Landowner's property this Access Easement and the Agreement shall continue as a servitude running in perpetuity with the Landowner's Property.

11. CCTV Video Release. The Village agrees not to release any digital video recorded by the DSIS, nor any portions thereof, to the news media without providing prior notice to one of the Owner contacts listed below, including the date, time, and information regarding the incident which the video pertains to.

The Easement Holder agrees that neither digital video recorded by the DSIS, nor any portions thereof, will be released to the news media or any third-party, except as a part of the criminal justice system, to employees of the Easement Holder, and as otherwise required by applicable law, without prior investigation and proper due diligence conducted by the Easement Holder or its employees or contractors. The Landowner is not responsible for conducting any investigation involving such digital video or of the matter which constitutes the substance of the criminal investigation. The terms of this paragraph shall apply to all digital video recorded by the DSIS and obtained or used by any employee or agent of the Easement Holder.

12. Severability. If any provision or specific application of this Access Easement is found to be invalid by a court of competent jurisdiction, the remaining provisions or specific applications of this Access Easement shall remain valid and binding.

13. Governing Law. This Access Easement shall be governed by and construed under the laws of the State of Wisconsin. The parties agree that any dispute hereunder shall be venued only in the Circuit Court for Kenosha County.

14. Attorneys' Fees and Interest. If either party defaults in the performance or observation of any of the terms, conditions, covenants or obligations contained in this Access Easement and the complaining party places the enforcement of all or any part of this Access Easement in the hands of an attorney, or if that party incurs any fees or out-of-pocket costs in any litigation, negotiation or transaction, the party that substantially prevails in any such dispute shall be reimbursed for its actual attorneys' fees and costs whether or not litigation is actually commenced. Any sums not paid when due, including without limitation any maintenance fee, shall accrue interest from the due date until paid at eighteen percent (18%) per annum.

IN WITNESS WHEREOF, COSTCO WHOLESALE CORPORATION has executed this Access Easement this _____ day of _____, 2014.

[Signatures on next pages].

EXHIBIT A

Legal Description of Landowner's Property

LOT 1 OF CERTIFIED SURVEY MAP #_____ RECORDED AS DOCUMENT #_____ AT THE KENOSHA COUNTY REGISTER OF DEEDS OFFICE AND FURTHER IDENTIFIED AS PART OF THE NORTHEAST ONE-QUARTER OF U.S. PUBLIC LAND SURVEY SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WI. THE SITE CONTAINS APPROXIMATELY 17.54 ACRES MORE OR LESS.

ORD. #14-23

**ORDINANCE TO CREATE THE
COSTCO WHOLESALE CORPORATION PLANNED UNIT DEVELOPMENT (PUD) ORDINANCE
PURSUANT TO CHAPTER 420-137 OF THE VILLAGE ZONING ORDINANCE
IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that the Costco Wholesale Corporation Planned Unit Development (PUD) (420 Attachment 3, Appendix C Specific Development Plan #32 is hereby amended pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

COSTCO WHOLESALE CORPORATION PLANNED UNIT DEVELOPMENT

- a. It is the intent that the Costco Wholesale Corporation (hereinafter referred to as the "DEVELOPMENT"), will provide for structures, improvements and uses on the in conformity with the adopted Village Comprehensive Plan and in compliance with the basic underlying B-2, Community Business Zoning District with the goal of facilitating development in a fashion that will not be contrary to the general health, safety, economic prosperity, and welfare of the Village, with the additional goal of encouraging proper maintenance of the structures, landscaping, sitting areas, parking areas, lighting, signage and general site development so as to promote an attractive and harmonious commercial development area and seek to achieve a commercial/business environment of sustained desirability and economic stability, which will operate as a uniform commercial development with the surrounding Village commercial properties as well as avoids unreasonable adverse effects to the property values of the surrounding properties and surrounding neighborhood.

The design of Costco represents a unique contextual response to the Village of Pleasant Prairie and Prairie Ridge development. The materiality of the building reflects various rich textures in earth tones including textured panels, intermixed with split-faced CMU, structural brick, variegated lannon stone veneer and accent steel. Compositionally, each façade has been designed with a base, body and cap which together with material, textural and color variations, successfully break up the continuous surface. The masonry elements provide a strong base with anchored corners, while the customer entry is a well-defined lighter space featuring glass slider and sectional doors providing comfort from the elements. Subtle details at the entry focus design for the shoppers experience upon entry, creating deep and wide openings with treatments in stone and CMU signifying the concept of threshold. Costco also intends to provide extensive landscaping, particularly along the southern property boundary between the warehouse and homeowners.

In addition, Costco maintains a Sustainable Practice Design Approach. Green building design is integral to the design, construction, and performance of the prototypical Costco warehouse site and building.

Innovation in Site Development and Building Design:

- Utilize local and regional labor and materials.
- Reduce "Heat Island Effect" with light reflective roof coating
- Centralized energy management system maximizes efficiency of lighting, HVAC, and refrigeration systems.
- Over 200 Energy Star rated skylights provide day lighting throughout 100% of the warehouse sales floor.
- Non-VOC (volatile organic compound) floor sealant covers 100% of concrete warehouse sales floor.
- Heat-reclaim system within the refrigeration systems is used to heat warehouse water.

- Refrigeration is based upon atmosphere-friendly cooling system.
- High efficiency restroom fixtures provide 40% water savings over fixtures currently required by code.
- Use of native species landscaping and drip irrigation reduce potable water consumption.

Pre-Engineered Architectural Metal Panel Building System: A key green building design component is the reliance upon the pre-engineered architectural metal panel (stucco appearing) building system which contributes to achieving significant sustainable building practice benefits.

- Architectural metal wall panel and insulation system provides twice the insulation value over concrete masonry.
- Pre-engineered metal warehouse structure, walls, and roof use 80% recycled steel material.

Architectural Metal Panel versus Traditional Concrete Masonry: Significant advantages of Costco Wholesale's pre-engineered architectural metal panel building system compared to a traditional masonry wall system:

Qualifies for 2009 LEED credits

- Material content is composed of 80% recycled steel. (LEED MR Credit 4.2 Recycled Content 20%)
- Steel components are 100% recyclable

Complies with 2004 Energy Code (ASHRAE 90.1)

- Exceeds code minimums by greater margin.
- Provides twice the insulation "R" value. (AMP = R-11 vs. CMU 10" = R-5)

Lower Energy Costs

- Fewer HVAC units are required (one-less 25-ton unit). (AMP = 12 @ 25-ton unit vs. CMU = 13 @ 25-ton unit)

Total energy consumption for heating and cooling over lifetime of warehouse is less.

It is anticipated that the facility will be open for business by August 2015. A typical Costco store after three years of operation employs approximately 175-200 full-time and part-time employees. Costco pays among the highest wages in the industry. Costco also provides a tremendous benefit package including medical, dental, vision, pharmacy, mental health, life insurance, disability, long term care, employee assistance program, flexible spending accounts, employee stock purchase program and other benefits.

Finally, Costco also benefits the community via multiple levels to include:

- Jobs
- Curbing retail leakage
- Property Tax generation
- Local Services
- Community Involvement examples:
 - 1% of pre-tax profit is designated annually for charitable organizations.
 - Adopt-A-School Reading program. Costco employees volunteer to help students in first through fourth grades improve their reading skills. Currently there are 135 programs across the United States and Canada.
 - Children's Hospital Campaigns
 - Fresh Start Backpack program
 - Communities in Schools

- b. Legal Description: The properties included are collectively known as Lot 1 of CSM _____ as recorded at the Kenosha County Register of Deeds Office on _____, 2014 as Document # _____ (part of Outlot 22 of Prairie Ridge Subdivision), located in U.S. Public Land Survey Section 8, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin.
- c. Requirements within the DEVELOPMENT:
- (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village Ordinances and regulations, except as expressly modified by this PUD Ordinance.
 - (ii) The DEVELOPMENT shall be in compliance with the *Prairie Ridge Commercial Development Declaration of Development Standards and Protective Covenants*, as recorded at the Kenosha County Register of Deeds Office. Said Declarations, as requested by the owners and approved by the Village, may be amended from time to time.
 - (iii) The DEVELOPMENT, including but not limited to, the building(s), sign(s), fence(s), truck and compactor enclosures, landscaping, parking lot(s), exterior site lighting, etc., and the site as a whole, shall be maintained on a regular basis in a neat, presentable, aesthetically pleasing, structurally sound and non-hazardous condition. This site maintenance shall also include the daily picking up and disposal of trash and debris which may accumulate on the sites.
 - (iv) Except as provided herein, the DEVELOPMENT shall be in compliance with the existing ORDINANCE #07-28, adopted by the Village Board on July 16, 2007, and entitled *Prairie Ridge Planned Unit Development Ordinance*. Said Ordinance, as requested by the owners and approved by the Village, may be amended from time to time.
 - (v) The owners of the DEVELOPMENT shall be in compliance with the Digital Security Imaging System Agreement (DSIS) and Access Easement as conditionally approved by the by the Plan Commission on September 22, 2014.
 - (vi) The DEVELOPMENT shall be in compliance with all applicable Site and Operational Plan(s), Conditional Use Permits and other Planned Unit Developments, as on file with the Village.
 - (vii) All buildings and site alterations and modifications, excluding general building and site maintenance within the DEVELOPMENT, shall be made in accordance with the applicable Village Ordinances and Codes at the time the modification is proposed.
 - (viii) All buildings/structures and all exterior additions, remodeling or alterations to the any buildings/structures within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified commercial development, including signage, lighting, outdoor furniture, etc. with the Prairie Ridge entire commercial area included within the Prairie Ridge Subdivision.
 - (ix) The use, operations, site, building and structures within the DEVELOPMENT shall be designed, laid out, constructed and maintained in full compliance with the approved Site and Operational Plans, the Conditional Use Permit, Liquor and Tobacco Licenses and all other applicable provisions of the Village Municipal Code and all other applicable Village, County, State Building Codes, Fire & Rescue Ordinances and county and federal regulations.
 - (x) The site, building and truck and compactor screening wall(s) and compactor(s) within the DEVELOPMENT shall be maintained in a clean, neat, painted, presentable, aesthetically pleasing, odor-free, structurally sound and nonhazardous

condition inside and outside of the store at all times. All miscellaneous small litter and debris lying outside of the structures shall be promptly removed on a daily basis.

- (xi) Costco delivery trucks shall not utilize Prairie Ridge Boulevard for access to and from the DEVELOPMENT. Costco and other semi-trucks shall arrive at the site via STH 50 south on 91st or 94th Avenues. As needed, the Village will install "No Semi-Truck Deliveries" signs on Prairie Ridge Boulevard to re-direct semi-truck traffic from using Prairie Ridge Boulevard for deliveries/departures.
- (xii) Only one (1) 2-week outdoor Christmas tree tent/truck sale in December each year will be allowed adjacent to the building with approval of a Temporary Use Permit and Christmas Tree License.
- (xiii) All light standards within the DEVELOPMENT shall be located within landscaped islands or landscaped areas and shall not exceed a height of 30 feet from grade including concrete bases with a maximum height at 36 inches.
- (xiv) There shall be no exterior sidewalk displays of merchandise, vehicles or any other items, including temporary signage that is not allowed by the Zoning Ordinance within the DEVELOPMENT. Holiday decorations are allowed insofar as they are timely removed within 21 days after the holiday.
- (xv) No flags, pennants, streamers, inflatable signage, a-frame price signs, plastic banner-type signage, spot lights, walking signs, shall be affixed to any building, landscaping vehicle, roof-top, or the ground (outside the building) shall be allowed unless expressly permitted by the Zoning Ordinance.
- (xvi) No outside storage of any racking, recycling, products, raw materials, building materials, metal racking, displays, etc. Cardboard recycling must be kept inside the dock area for pickup.
- (xvii) No outside overnight cart storage shall be allowed. Carts and overflow carts shall be stored inside.
- (xviii) No outdoor temporary garden sales with hoop greenhouses shall be allowed in the parking lot.
- (xix) There shall be no pods or temporary trailers parked on site storing products.
- (xx) The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations.
- (xxi) No vehicles or boats for sale shall be placed exterior of the store in the parking lot or on the exterior sidewalk areas outside of the building envelope.
- (xxii) No overnight parking shall be permitted for delivery trucks or semi-trucks in the DEVELOPMENT. However, occasional exceptions will be permitted during peak holiday seasonal time periods, wherein trucks may be docked for limited periods of time.
- (xxiii) No outside loud speakers shall be utilized in the dock or parking lot areas.
- (xxiv) No changes to the exterior site, building or structures shall be made without the Village's approval. No painting of the exterior of the buildings shall be permitted, unless expressly permitted by the Village.
- (xxv) The DEVELOPMENT shall comply with the designated Village approved business hours of operation and hours of delivery times for the B-2 District at all times during the year, even during the holiday seasons.

- (xxvi) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
- (xxvii) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.

d. Specific modifications to the Village of Pleasant Prairie Zoning Ordinance for the DEVELOPMENT:

- (i) Section 420-47 D width of the driveway is amended as follows:
 - D. The maximum width of a driveway shall not exceed 40 feet at the property line. The Zoning Administrator, however, may allow an increase in width to provide for safer and adequate traffic movements. In no case shall a driveway opening extend into the right-of-way so as to cross the extension of the side property lines as extended into the right-of-way.
- (ii) Section 420-48 L (1) (a) related to parking area (which includes parking spaces, maneuvering lanes and fire lanes) is amended as follows:
 - (a) Twenty feet from all adjoining street rights-of-way, and a minimum of 8 feet from the north property line of the Holiday Inn Express property identified as Tax Parcel Number 91-4-122-081-0250.
- (iii) Section 420-119 I (4) (a) related to Building Gross Floor Area for the principal buildings is amended as follows:
 - (a) Gross floor area for all buildings on site shall not exceed 154,000 square feet (excludes the canopy area over the gasoline dispensing pump.)
- (iv) Section 420-119 J (1) related to the number of principal structures per lot is amended as follows:
 - (1) Number of principal structures per lot: Two maximum—main building and gas facility enclosure.
- (v) Section 420-119 I (4) (c) [1] related to building setbacks is amended as follows:
 - [1] Street setback: minimum of 65 feet from arterial streets (94th Avenue) and a minimum of 40 feet from other streets; however the canopy over the gasoline dispensing pumps is permitted to be a minimum of 30 feet from all streets.
- (vi) Section 420-76 T related to Primary Monument Sign shall be amended as follows:
 - T. Primary Monument/Address Sign
 - (1) One sign is required the DEVELOPMENT that includes the full address (street number and street name).
 - (2) Maximum area: 50 square feet per face.
 - (4) Minimum height: 4 feet
 - (5) Maximum height: 6 feet
 - (4) Minimum setback distance: 15 feet from any property line.
 - (6) Shall include the street address of the principal building on the property, including the street number(s) and the name of the street, but such address may be placed on the base of the

sign (where they will not count toward the maximum area of the sign display).

- (7) Landscaping shall extend a minimum of five feet in every direction from the base or other support structure of the sign.
- (8) May be illuminated.
- (9) Shall be placed on a solid-appearing decorative base which supports a minimum of 75% of the horizontal dimension of the sign display constructed or stone or brick to match the building.
- (10) The base of the sign shall be two feet height and shall not extend to either side of the sign display by a distance exceeding 1/2 of the horizontal dimension of the sign display, or extend above the level of the top of the sign display by a distance exceeding 1/2 of the vertical dimension of the sign display.

(vii) Section 420-78 K related to Aggregate Permitted Background Commercial Advertising Sign Area shall be amended as follows:

- K. Aggregate permitted background commercial advertising sign within the DEVELOPMENT shall be limited to:
 - (1) Maximum of 500 square feet for the warehouse building.
 - (2) Maximum of 80 square feet from the canopy over the gasoline dispensing pumps.

(viii) Section 420-57 H (2) (g) [1] [f] related to exterior walls of all principal or accessory buildings shall be amended to create [f] to read as follows:

- [f] Metal panel with a stucco appearance as specified in the Site and Operational Plans as approved by the Village Plan Commission, smooth or ribbed metal panels are not allowed.

e. Amendments

- (i) The PUD regulations for the DEVELOPMENT may be amended pursuant to Chapter 420-137 of the Zoning Ordinance.
- (ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

Adopted this 4th day of August 2014.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Posted: _____



RECEIVED
SEP 3 - 2014
Village of Pleasant Prairie

VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION

USE THIS FORM FOR:

Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a new or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	9/3 20 04
Preliminary Determination of Completeness on:	9/4 20 04
Revised Plans Submitted:	20
<input type="checkbox"/> Public Hearing Required: Hearing Date:	_____, 20__
Published on: _____ and _____, 20__	Notices sent on: _____, 20__
Approved by <input type="checkbox"/> Plan Commission on _____, 20__	<input type="checkbox"/> Zoning Administrator on _____, 20__
Denied by <input type="checkbox"/> Plan Commission on _____, 20__	<input type="checkbox"/> Zoning Administrator on _____, 20__

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: COSTCO WHOLESALE

SITE ADDRESS: 7707 94TH AVE PLEASANT PRAIRIE, WI

BRIEF PROJECT DESCRIPTION: PROJECT IS A 153,955 SQFT, ONE STORY MERCANTILE OCCUPANCY BUILDING WITH FULLY AUTOMATIC FIRE-PROTECTION SPRINKLER SYSTEM AND FIRE ALARM SYSTEM. ALSO INCLUDED IS A FREE STANDING FUEL FACILITY WITH CANOPY.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: ~200

PROPOSED NUMBER OF PART-TIME EMPLOYEES: _____

SITE SIZE: 764,166 sq. ft. 17.54 acres

PROPOSED BUILDING SIZE: 153,955 sq.ft. HEIGHT: 32'-0" ft.

PROPOSED ADDITION SIZE: N/A sq.ft. HEIGHT: N/A ft.

LEGAL DESCRIPTION: SEE ATTACHED.

TAX PARCEL NUMBER(S): 91-4-122-081-0221

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: B-2, PUD

- Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
- Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: 97 GPM

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? AGRICULTURE

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - **If no** then skip to Section 5.
 - **If yes**, then continue with this Section.

2. **Are you amending an existing Conditional Use Permit?** YES NO
 - **If yes**, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - **If no**, continue with this Section.

3. If you answered **YES** to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - **If no**, then skip to Section 7.
 - **If yes**, then continue with this section.

2. If you answered **YES** to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I, (We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

APPLICANT:

Name: COSTCO WHOLESALE
(Please Print)
Signature: *Mustafa Adams*
Authorized Agent for Costco
Address: 999 LAKE DR
ISSAQUAH WA 98027
(City) (State) (Zip)
Phone: 425 313 8100
Fax: _____
E-mail: _____
Date 8/29/2014

Name: TRAVIS MORTON
(Please Print)
Signature: *Christoph T. Morton*
Address: 1110 112TH AVE NE
BELLEVUE WA 98004
(City) (State) (Zip)
Phone: 425 463 1585
Fax: 425 463 1883
E-mail: TRAVIS.MORTON@MULVANNYCG2.COM
Date: _____

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

USER OR OCCUPANT OF SITE:

Name: _____
(Please Print)
Signature: _____
Address: _____

(City) (State) (Zip)
Phone: _____
Fax: _____
E-mail: _____
Date _____

Name: COSTCO WHOLESALE
(Please Print)
Signature: *Mustafa Adams*
Authorized Agent for Costco
Address: 999 LAKE DR
ISSAQUAH WA 98027
(City) (State) (Zip)
Phone: 425 313 8100
Fax: _____
E-mail: _____
Date: 8/29/2014

Pleasant Prairie - Costco Warehouse Site Legal Description

PARCEL I :

OUTLOTS 18, 20, 21 AND 22 EXCEPT PART DESCRIBED IN CERTIFIED SURVEY MAP NO. 2063, RECORDED AS DOCUMENT NO. 1113314, IN PRAIRIE RIDGE, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4, NORTHWEST 1/4, SOUTHEAST 1/4, AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4, THE NORTHEAST 1/4, THE NORTHWEST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4, THE NORTHEAST 1/4, NORTHWEST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN. SAID LAND BEING IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN.

PARCEL II :

LOT 2 OF CERTIFIED SURVEY MAP NO. 2744 RECORDED FEBRUARY 28, 014 AS DOCUMENT NO. 1721909, BEING A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 2175, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN.

COSTCO WHOLESALE

Operational Plan Responses

(1) Operational plan requirements. The applicant shall prepare and file as part of the application for site and operational plan approval an operational plan which shall include at least the following information or materials:

(a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

Costco Wholesale Corporation operates an international chain of membership warehouses, mainly under the "Costco Wholesale" name, that carry quality, brand name merchandise at substantially lower prices than are typically found at conventional wholesale or retail sources. The warehouses are designed to help small-to-medium-sized businesses reduce costs in purchasing for resale and for everyday business use. Individuals may also purchase for their personal needs.

Costco's warehouses present one of the largest and most exclusive product category selections to be found under a single roof. Categories include groceries, candy, appliances, television and media, automotive supplies, tires, toys, hardware, sporting goods, jewelry, watches, cameras, books, housewares, apparel, health and beauty aids, tobacco, furniture, office supplies and office equipment. Costco is known for carrying top quality national and regional brands, with 100% satisfaction guaranteed, at prices consistently below traditional wholesale or retail outlets. Costco also offers tire installation, pharmacy, one-hour photo, hearing aid, optometry and travel services.

Members can also shop for private label Kirkland Signature products, designed to be of equal or better quality than national brands, including juice, cookies, coffee, housewares, luggage, clothing and detergent. The Company also operates self-service gasoline stations at a number of its U.S. and Canadian locations.

Additionally, Costco Wholesale Industries, a division of the Company, operates manufacturing businesses, including special food packaging, optical laboratories, meat processing and jewelry distribution. These businesses have a common goal of providing members with high quality products at substantially lower prices.

(b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

Costco is seeking to construct a 149,365 square foot warehouse retail building that includes an accessory tire center, food service center, employee break room, locker area, fire pump room, and an enclosed 4,234 square foot entrance canopy, totaling 153,955 square foot building area. In addition, a freestanding 3 island gasoline fueling facility containing 12 pumping positions (with an option to build in the future a 4th island/total 16 pumping positions) is also proposed for the site. The proposed warehouse is located in the general area at the northwest corner of 91st

Street and Prairie Ridge Boulevard. The fueling facility will be located at the southwest corner of 94th Avenue and 76th Street. Both parcels are within the Prairie Ridge Planned Unit Development within the village limits of Pleasant Prairie, Wisconsin.

(c) Gross floor area of the existing building(s) and/or proposed addition.

The proposed building will not exceed 154,000 square foot. See (b) above

(d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.

Warehouses:

Monday – Friday 10:00 AM to 8:30 PM

Saturday 9:30 AM to 6:00 PM

Sunday 10:00 AM to 6:00 PM

Gas Station Hours 6:30 AM – 10:00 PM

Hours of deliveries typically range from 4:30 a.m. to 10:00 a.m. Monday – Saturday. At this location Costco will not accept deliveries before 6:00 a.m. or after 10:00 p.m.

(e) Anticipated startup and total number of full- and part-time employees.

150 employees: 50% full time and 50% part time

(f) Anticipated number of shifts and the anticipated number of employees per shift.

Employees come in at random times throughout operational hours. No specifically defined shifts.

(g) Anticipated maximum number of employees on site at any time of the day.

Peak employees at one time in the warehouse is approximately 75.

(h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.

N/A

(i) Number of parking spaces required per this chapter and the method used to calculate such number.

770 required (5/1000)

(j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped accessible spaces to be stated separately).

673 10'x20' spaces / 17 handicapped accessible spaces - 690 total stalls provided.

(k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

The proposed Costco warehouse is expected to generate 720 new trips during the weekday evening peak. (360 entering vehicles /360 exiting vehicles)

(l) Anticipated daily average and maximum potential number of truck trips to and from the site.

8 – 10 trucks per day, Monday thru Saturday.

(m) Types and quantities of goods and materials to be made, used or stored on site.

Fresh produce, Gourmet Deli and Rotisserie Chicken, Fresh Meat, Fresh Bakery, groceries, candy, appliances, television and media, automotive supplies, tires, toys, hardware, sporting goods, jewelry, watches, cameras, books, housewares, apparel, health and beauty aids, tobacco, furniture, office supplies and office equipment.

(n) Types of equipment or machinery to be used on site.

Please refer to Costco Wholesale Corporate Sustainability Report

(o) Types and quantities of solid or liquid waste materials which will require disposal.

Please refer to Costco Wholesale Corporate Sustainability Report

(p) Method of handling, storing and disposing of solid or liquid waste materials.

Please refer to Costco Wholesale Corporate Sustainability Report

(q) Methods of providing site and building security other than the Village Police Department.

A Costco employee is responsible for checking membership cards for all parties entering the building, as well as merchandise checking upon departing the building. In addition, Costco has cameras strategically located throughout the warehouse with in-house security monitoring at all times.

(r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

Costco's property management department is responsible for maintaining the facilities and putting into place any contractual services required for maintain the grounds.

(s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

Costco does not anticipate any potential adverse impacts to neighboring properties or public facilities. Any issues that may arise are addressed at the earliest possibility.

(t) A list of all local, Kenosha County (highway access), State and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval. Provide copies of such permits and approvals that have been obtained.

Costco's team is still in the process of identifying such permits, etc. and will provide all required documentation.

(2) Operational plan standards. In addition to any other applicable requirements or standards specified in this chapter, the following requirements or standards shall apply to the operational plan:

(a) No use shall be conducted in such a way as to constitute a public or private nuisance.

Understood, does not appear to be applicable

(b) No use shall be conducted in such a way as to violate any of the performance standards set out in § [420-38](#) of this chapter.

Understood

(c) (reserved)

Understood

(d) No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.

Understood.

(e) All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition.

Understood

(f) Within a building, any provision of live entertainment in connection with a business or club use involving the selling or service of alcoholic beverages shall comply with the following restrictions:

Not applicable

[1] Live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing;

Not applicable

[2] Customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance; and

Not applicable

[3] There shall be no touching of any kind between entertainers and customers, members or their guests.

Not applicable

(g) No proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

Not applicable

(h) Indoor pyrotechnic displays are prohibited.

Not applicable

Return to: Katrina Karow
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: kkarow@kenosha.org

Date Sent: 9/4/14
Date Due: _____

**VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY**

**To be submitted to the
Kenosha Water Utility**



General Information

1. Facility Name: Costco Wholesale
2. Mailing Address: 2311 W. 22nd Street, Suite 208
3. City, State, Zip Code: Oak Brook, IL 60523
4. Site Address: TBD 94th Avenue South of 76th Street
5. Standard Industrial Classification Code (SIC): 5411
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative

Company Contact

Name: Theodore Johnson
Title: Costco Representative
Phone #: 630-368-0840

Name: TBD
Title: Warehouse Manager
Phone #: TBD

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

WRAPP - NR 216 Storm Water Permit for site construction

Operational Characteristics

1. Existing Number of Employees: Full Time 75 Part Time 75
2. Operational Schedule: Days/Wk 7 Hours/Day 12 # Shifts 1
3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities): Retail warehouse with accessory of attached tire center and free-standing fueling facility.
4. List principal raw materials used: N/A
5. List products produced and the average rate of production: N/A
6. List types of wastes created during production and any by-products produced: N/A
7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 1,000,000 gallons.
Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie _____
Meter number or address assigned to water meter(s). TBD
8. Type of discharges: Continuous X Batch _____
If batch was indicated, give the average frequency and approximate volume of any batch discharges: _____
9. Describe the uses of water at this facility: Customer use in restrooms and facility clean-up.

Wastewater Information

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process
<u>Evap coil defrost cycle</u>
<u>Cooling coil condensate</u>
<u>Kitchen : cooking & preparation</u>

Time and Duration of Discharges
<u>4 per day @ 15 minutes each</u>
<u>Continuous during all hours</u>
<u>Continuous during operating hours</u>

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

Evap coil defrost cycle - None

Cooling coil condensate - None

Kitchen: cooking & preparation - Detergent, FOG

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water? No

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day fir each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	Consumed	Discharges	
Sanitary Usage	3412	3412	None
Process Wastewater Usage	2240	2240	Continuous & None
Cooling Water Usage	N/A	N/A	N/A
Other Usage	N/A	N/A	N/A
Total Volume	5652	5652	Continuous & None

5. Describe all locations where wastewaters enter the collection system Floor drain, floor sink, direct drain.

6. Is there a sampling manhole on site? No _____ Yes X
If yes, describe the locations: Will be installed at NE corner of site.

7. Are sanitary and process wastewaters separated? No X Yes _____

8. Is boiler blowdown water discharged to the sanitary sewer? No X Yes _____

9. Does your facility haul any process wastewater? No X Yes _____

Compliance Information

1. Is there any usage of toxic compounds at the facility? No X Yes _____
If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No X Yes _____

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?
No X Yes _____ If yes, describe procedure: N/A

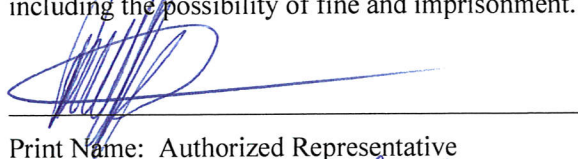
5. Is any form of waste water pretreatment practiced at this facility? No _____ Yes X
 If yes, describe: Gravity grease interceptors separate fats, oil, grease from process waste water.
-
6. List any specific pretreatment standards that apply to this facility: Goslyn Grease Recovery
Gravity Grease Interceptors
Gravity Oil/Sand Separator
CleanStar Grease Collection
-
7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.
N/A
-
8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.
N/A
-

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.



Print Name: Authorized Representative

Signature: Authorized Representative

Authorized Agent for Coste Mhobeseb

Title

August 29, 2014

Date

Appendix
Toxic Pollutants Listed in 40CFR 307(a)

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinalkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chlorofoffil
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds'
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo- p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds



Hazardous Materials Chemical Inventory
Costco Wholesale



Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Clorox Company	Clorox Disinfecting Wipes 4 Pack	1	2	0		CLII, IRR	Liquid	2836	1	Pound	343.2603364	Gallons	Retail Sales Floor
Pilot Corporation Of America	Easy Touch Ball Point Pen Retractable Medium Point Assorted 20 Pack	1	1	0		CLIIIB, IRR	Liquid	2240	4	MilliLiter	2.3669856	Gallons	Retail Sales Floor
Alcon Laboratories, Inc.	Opti-Free Replenish Multi-Purpose Disinfecting Solution Twin Pack	0	0	0		None	Liquid	116	14	Ounce	12.68744316	Gallons	Retail Sales Floor
Bausch & Lomb, Inc.	ReNu Multi-Purpose Solution	0	0	0		None	Liquid	166	16	Ounce	20.7499087	Gallons	Retail Sales Floor
Borghese Inc.	Skin Renewal Mask	0	0	0		None	Solid	50	3	Ounce	10.268768	Pounds	Retail Sales Floor
Borghese Inc.	Eye Shadow Quad, Base & Brush Eyeshadow - Coca Cream Kit	0	0	0		None	Liquid	14	0.28	Ounce	0.0245	Gallons	Retail Sales Floor
Borghese Inc.	Eye Shadow Quad, Base & Brush Eyeshadow - Sheer Mass	0	0	0		None	Liquid	16	0.28	Ounce	0.02485296	Gallons	Retail Sales Floor
Borghese Inc.	Eye Shadow Quad, Base & Brush Eyeshadow Base - Coca Cream Kit	0	0	0		None	Liquid	14	0.25	Ounce	0.01941632	Gallons	Retail Sales Floor
Borghese Inc.	Eye Shadow Quad, Base & Brush Eyeshadow Base - Sheer Mass	0	0	0		None	Liquid	16	0.25	Ounce	0.025	Gallons	Retail Sales Floor
Borghese Inc.	Eyeshadow Base Kit -Plush Plum	0	0	0		None	Solid	15	0.25	Ounce	0.2343762	Pounds	Retail Sales Floor
Borghese Inc.	Eyeshadow Quad Kit Base & Blush - Eyeshadow Plush Plum	0	0	0		None	Solid	15	0.28	Ounce	0.26250135	Pounds	Retail Sales Floor
Borghese Inc.	Lash Defining Mascara 2 Pack	0	0	0		None	Solid	54	0.37	Ounce	1.24875648	Pounds	Retail Sales Floor
Borghese Inc.	Lip Gloss Trio Kit - Apricot	0	0	0		None	Solid	7	0.27	Ounce	0.11812563	Pounds	Retail Sales Floor
Borghese Inc.	Lip Gloss Trio Kit - Bronzed	0	0	0		None	Solid	7	0.27	Ounce	0.11812563	Pounds	Retail Sales Floor
Borghese Inc.	Lip Gloss Trio Kit - Cocoa Mauve	0	0	0		None	Solid	12	0.27	Ounce	0.20250108	Pounds	Retail Sales Floor
Borghese Inc.	Lip Gloss Trio Kit - Latte	0	0	0		None	Solid	12	0.27	Ounce	0.20250108	Pounds	Retail Sales Floor
Borghese Inc.	Lip Gloss Trio Kit - Latte	0	0	0		None	Solid	29	0.27	Ounce	0.48937761	Pounds	Retail Sales Floor
Borghese Inc.	Lip Gloss Trio Kit - Petal	0	0	0		None	Solid	29	0.27	Ounce	0.48937761	Pounds	Retail Sales Floor
Borghese Inc.	Lip Gloss Trio Kit - Rose	0	0	0		None	Solid	29	0.27	Ounce	0.48937761	Pounds	Retail Sales Floor
Borghese Inc.	Lip Gloss Trio Kit - Sunkissed	0	0	0		None	Solid	7	0.27	Ounce	0.11812563	Pounds	Retail Sales Floor
Borghese Inc.	Lip Gloss Trio Kit - Wine	0	0	0		None	Solid	12	0.27	Ounce	0.20250108	Pounds	Retail Sales Floor
Borghese Inc.	Lipstick & Liner Duo Iced Rose Kit - Liner	0	0	0		None	Solid	8	0.05	Ounce	0.02500016	Pounds	Retail Sales Floor
Borghese Inc.	Lipstick & Liner Duo Iced Rose Kit - Lipstick	0	0	0		None	Solid	8	0.05	Ounce	0.02500016	Pounds	Retail Sales Floor
Borghese Inc.	Lipstick & Liner Duo Mocha Ice Kit - Liner	0	0	0		None	Solid	27	0.05	Ounce	0.08437554	Pounds	Retail Sales Floor
Borghese Inc.	Lipstick & Liner Duo Mocha Ice Kit - Lipstick	0	0	0		None	Solid	27	0.05	Ounce	0.08437554	Pounds	Retail Sales Floor
Borghese Inc.	Lipstick & Liner Duo Nectar Kit - Lipstick	0	0	0		None	Solid	8	0.05	Ounce	0.02500016	Pounds	Retail Sales Floor
Borghese Inc.	Lipstick & Liner Duo Nectar Kit - Liner	0	0	0		None	Solid	8	0.05	Ounce	0.02500016	Pounds	Retail Sales Floor
Mana Products Inc.	Mistic Bronzer	1	0	0		None	Solid	64	0.4	Ounce	1.60000832	Pounds	Retail Sales Floor

Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Borghese Inc.	Sheer Foundation SPF 20 & Exact Match Concealer Fair Kit - Exact Match Concealer	0	0	0		None	Liquid	32	0.3	Ounce	0.06847232	Gallons	Retail Sales Floor
Borghese Inc.	Sheer Foundation SPF 20 & Exact Match Concealer Fair Kit - Sheer Foundation SPF 20	0	0	0		None	Liquid	32	1	Ounce	0.22824064	Gallons	Retail Sales Floor
Borghese Inc.	Sheer Foundation SPF 20 & Exact Match Concealer Light Kit - Exact Match Concealer	0	0	0		None	Liquid	96	0.3	Ounce	0.20541696	Gallons	Retail Sales Floor
Borghese Inc.	Sheer Foundation SPF 20 & Exact Match Concealer Light Kit - Sheer Foundation SPF 20	0	0	0		None	Liquid	96	1	Ounce	0.68472192	Gallons	Retail Sales Floor
Borghese Inc.	Sheer Foundation SPF 20 & Exact Match Concealer Medium Kit - Exact Match Concealer	0	0	0		None	Liquid	45	0.3	Ounce	0.0962892	Gallons	Retail Sales Floor
Borghese Inc.	Sheer Foundation SPF 20 & Exact Match Concealer Medium Kit - Sheer Foundation SPF 20	0	0	0		None	Liquid	45	1	Ounce	0.3209634	Gallons	Retail Sales Floor
Borghese Inc.	Sheer Satin Blush Duo with Retractable Brush - Natural Pink Kit	0	0	0		None	Solid	22	0.28	Ounce	0.38500198	Pounds	Retail Sales Floor
Mana Products Inc.	Borghese/Costco-Pot Concealer	0	0	0		None	Solid	23	0.28	Ounce	0.40250207	Pounds	Retail Sales Floor
Borghese Inc.	Translucent Pressed Powder with Retractable Brush	0	0	0		None	Solid	46	0.37	Ounce	1.06375552	Pounds	Retail Sales Floor
Chattem, Inc.	Icy Hot Extra Strength Medicated Patch Large	0	0	0		None	Liquid	370	0.5	Ounce	1.15625	Gallons	Retail Sales Floor
Chattem, Inc.	Icy Hot Extra Strength Pain Relieving Cream	0	0	0		None	Liquid	94	3	Ounce	1.7625	Gallons	Retail Sales Floor
Fleming & Company Pharmaceuticals	New Ocean Ultra Sterile Saline Nasal Mist 2 Pack	0	0	0		None	Liquid	114	3	Ounce	2.6718636	Gallons	Retail Sales Floor
Puretek Corp.	Kirkland Signature Protein Shampoo With Moisturizing Marine Algae Extrat	0	0	0		None	Liquid	208	40	Ounce	64.99971088	Gallons	Retail Sales Floor
Neutrogena Corporation	Liquid Neutrogena The Transparent Facial Cleanser 4 Pack	0	0	0		None	Liquid	1588	8	Ounce	99.24955536	Gallons	Retail Sales Floor
Procter & Gamble	Olay Daily Facials Hydrating Cleaning Cloths	0	0	0		None	Solid	12960	0.25	Ounce	202.5010368	Pounds	Retail Sales Floor
Quatre S Cosmetics	Dr. Brandt Lineless Essential Kit - Lineless Cream	0	0	0		None	Solid	17	2	Ounce	2.12501105	Pounds	Retail Sales Floor
Quatre S Cosmetics	Dr. Brandt Lineless Essential Kit - Lineless Gel Cleanser	0	0	0		None	Liquid	17	2	Ounce	0.2125	Gallons	Retail Sales Floor
Sanford Corporation	Sharpie Accent Liquid Highlighter-Pen Style	0	0	0		None	Liquid	22	80	MilliLiter	0.46494272	Gallons	Retail Sales Floor
Smashbox	Smashbox Cosmetics Behind the Scenes Beauty Kit - Gels in Luster	0	0	0		None	Solid	77	0.3	Ounce	1.4437577	Pounds	Retail Sales Floor
Unilever	Dove Cool Moisture Conditioner	0	0	0		None	Liquid	107	40	Ounce	33.43735127	Gallons	Retail Sales Floor
Unilever	& Green Tea Scent Anti-Perspirant & Deodorant 3 Pack	0	0	0		None	Solid	183	2.6	Ounce	29.73765555	Pounds	Retail Sales Floor
Sanford Corporation	Gel Uni-Ball 207 Medium Pens 12 Pack	0	0	0		None	Liquid	318	4	MilliLiter	0.33602742	Gallons	Retail Sales Floor
Clorox Company	Armor All Original Protectant	0	0	0		None	Liquid	5	10	Ounce	0.39062325	Gallons	Retail Sales Floor
Alcon Laboratories, Inc.	Systane Lubricant Eye Drops	0	0	0		None	Liquid	226	1	Ounce	1.76561822	Gallons	Retail Sales Floor
Elizabeth Arden, Inc.	Visible Difference Refining Moisture Cream Complex	0	0	0		None	Liquid	44	2.5	Ounce	0.85937104	Gallons	Retail Sales Floor
Elizabeth Arden, Inc.	Visible Difference Refining Moisture Cream Complex	0	0	0		None	Liquid	10	2.5	Ounce	0.1953116	Gallons	Retail Sales Floor
Ciba Vision Corporation	Clear Care No Rub Twin Pack	0	0	0		None	Liquid	234	16	Ounce	29.2498713	Gallons	Retail Sales Floor
Sanford Corporation	Uni-Ball Fine and Micro Pen	0	0	0		None	Liquid	45	72	MilliLiter	0.85591755	Gallons	Retail Sales Floor
Pfizer Consumer Healthcare	Visine Advanced Relief Lubricant 4 Pack	0	0	0		None	Liquid	270	2.56	Ounce	5.3999757	Gallons	Retail Sales Floor
Pfizer Consumer Healthcare	Visine Advanced Relief Lubricant 4 Pack	0	0	0		None	Liquid	270	0.28	Ounce	0.5906223	Gallons	Retail Sales Floor
Unilever Home & Personal Care - USA	Lever 2000 Bar Soap, All Variants	0	0	0		None	Solid	19372	4.5	Ounce	5448.403477	Pounds	Retail Sales Floor

Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Chattem, Inc.	Gold Bond Medicated Body Powder	0	0	0		None	Solid	27	24	Ounce	40.50021141	Pounds	Retail Sales Floor
Puretek Corp.	Kirkland Signature Hawaiian Ginger Root Conditioner	0	0	0		None	Liquid	456	40	Ounce	142.4993662	Gallons	Retail Sales Floor
Unilever	Mixed Family Pack - Cocoa Butter Deep Conditioning Rich Hydrating Lotion	0	0	0		None	Liquid	616	10	Ounce	48.1247844	Gallons	Retail Sales Floor
Unilever	Mixed Family Pack - Healthy Hand & Nail Revitalizing Hand Lotion	0	0	0		None	Liquid	616	3.1	Ounce	14.91868224	Gallons	Retail Sales Floor
Unilever	Vaseline Convenient Sizes Intensive Care Lotion Mixed Family Pack - Total Moisture Dry Skin Lotion	0	0	0		None	Liquid	616	24.5	Ounce	117.9057264	Gallons	Retail Sales Floor
Sanford Corporation	Paper Mate Capped Ball Point Pen Black	0	0	0		None	Liquid	25	432	MilliLiter	2.853058	Gallons	Retail Sales Floor
Sanford Corporation	Paper Mate Capped Ball Point Pen Blue	0	0	0		None	Liquid	17	432	MilliLiter	1.94007944	Gallons	Retail Sales Floor
Falcon Safety Products, Inc.	Dust-Off Duster	3	4	0		ASP,IRR,OHH,FG	Gas	2800	12	Ounce	2100.010976	Pounds	Retail Sales Floor
S.C. Johnson	Windex Original Streak-Free Shine	0	2	0		CLII	Liquid	321	172	Ounce	431.3418368	Gallons	Retail Sales Floor
S.C. Johnson	Windex Original Streak-Free Shine	0	2	0		CLII	Liquid	321	32	Ounce	80.24964369	Gallons	Retail Sales Floor
Dairy Association Co., Inc.	Bag Balm Antiseptic Salve	0	1	0		CLIIIB	Liquid	22	10	Ounce	1.8938084	Gallons	Retail Sales Floor
Smashbox	Smashbox Cosmetics Behind the Scenes Beauty Kit - Cream Eye Liner Duo	0	1	0		CLIIIB	Liquid	77	0.3	Ounce	0.14416633	Gallons	Retail Sales Floor
Johnson Controls, Inc.	Lead Acid Battery	3	0	0	COR	COR,CAR,OHH	Solid	12	40	Pound	480	Pounds	Retail Sales Floor
Johnson Controls, Inc.	Lead Acid Battery	3	0	0	COR	COR,CAR,OHH	Solid	19	40	Pound	760	Pounds	Retail Sales Floor
Johnson Controls, Inc.	Lead Acid Battery	3	0	0	COR	COR,CAR,OHH	Solid	20	40	Pound	800	Pounds	Retail Sales Floor
Johnson Controls, Inc.	Lead Acid Battery	3	0	0	COR	COR,CAR,OHH	Solid	7	40	Pound	280	Pounds	Retail Sales Floor
Johnson Controls, Inc.	Lead Acid Battery	3	0	0	COR	COR,CAR,OHH	Solid	19	40	Pound	760	Pounds	Retail Sales Floor
Optima Batteries-Johnson Controls Inc.	Optima Blue Top Marine Dual Purpose Battery	3	0	0	COR	COR,CAR,OHH	Solid	10	40	Pound	400	Pounds	Retail Sales Floor
Optima Batteries-Johnson Controls Inc.	Optima Yellow Top Deep Cycle & Starting Battery	3	0	0	COR	COR,CAR,OHH	Solid	13	40	Pound	520	Pounds	Retail Sales Floor
Optima Batteries-Johnson Controls Inc.	Optima Red Top Starting Battery	3	1	2	No H2O	COR,CAR,OHH,CLIIIB,WR2	Liquid	11	40	Pound	43.99999648	Gallons	Retail Sales Floor
Reckitt Benckiser, Inc.	Lysol Power Toilet Bowl Cleaner	3	1	0	COR	COR,CLIIIB	Liquid	570	32	Ounce	142.4993673	Gallons	Retail Sales Floor
Clorox Company	Clorox Regular Bleach	3	0	0	COR	COR,OHH	Liquid	566	182	Ounce	804.7776785	Gallons	Retail Sales Floor
University Medical Products USA Inc.	Acne Free Clean Skin Treatments Acne & Blackhead Terminator	3	1	0	COR	COR,OHH,CLIIIB	Liquid	876	0.75	Ounce	5.1327906	Gallons	Retail Sales Floor
Recreational Water Products	Shock Plus 4 in 1 Pool Shock Oxidizer, Buffer, Clarifier and Flocculant	3	0	0	OXY	COR,OHH,SEN	Solid	1248	1	Pound	1248	Pounds	Retail Sales Floor
Recreational Water Products	Aqua Chem 3" Tablets Plus	3	0	1	OXY	COR,OXY1	Solid	39	40	Pound	1560	Pounds	Retail Sales Floor
Gillette Medical Evaluation Laboratories	Duracell Copper Top AAA	3	0	0	COR	COR,TOX	Solid	188	0.58	Pound	109.04	Pounds	Retail Sales Floor
Duracell, a Division of Procter & Gamble	Duracell Alkaline Batteries	3	0	1	OXY	COR,TOX,OXY1	Solid	720	0.38	Pound	273.6	Pounds	Retail Sales Floor
Sanford Corporation	Sharpie 24 Pack Permanent Marker	0	3	0		FLIC	Liquid	26	96	MilliLiter	0.65937352	Gallons	Retail Sales Floor
Borghese Inc.	14-Piece Professional Quality Cosmetic Brush Set / Cosmetic Brush Cleaner	0	3	0		FLIC	Liquid	193	4	Ounce	6.03122298	Gallons	Retail Sales Floor
Clorox Company	Armor All Car Wash Concentrate	2	0	0		IRR	Liquid	5	16	Ounce	0.62499725	Gallons	Retail Sales Floor
Clorox Company	Armor All Wheel Cleaner (DISCONTINUED)	1	0	0		IRR	Liquid	5	24	Ounce	0.93749585	Gallons	Retail Sales Floor

Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Bausch & Lomb, Inc.	Boston Multi Action Solution with Daily Protein Remover	1	0	0		IRR	Liquid	128	3.5	Ounce	3.49998464	Gallons	Retail Sales Floor
Bausch & Lomb, Inc.	Boston Multi Pack Advance Formula - Cleaner	2	0	0		IRR	Liquid	18	1	Ounce	0.14062446	Gallons	Retail Sales Floor
Bausch & Lomb, Inc.	Boston Multi Pack Advance Formula - Conditioning Solution	1	0	0		IRR	Liquid	36	4	Ounce	1.12499496	Gallons	Retail Sales Floor
Bausch & Lomb, Inc.	Boston Multi Pack Original Formula -Cleaner	2	0	0		IRR	Liquid	47	2	Ounce	0.73437171	Gallons	Retail Sales Floor
Bausch & Lomb, Inc.	Boston Multi Pack Original Formula -Conditioning Solution	1	0	0		IRR	Liquid	94	4	Ounce	2.93748684	Gallons	Retail Sales Floor
Borghese Inc.	Age-Defying Restorative Night Cream 2 Pack	1	0	0		IRR	Liquid	144	1.7	Ounce	1.91249136	Gallons	Retail Sales Floor
C.B. Fleet Co. Inc.	Fleet Enema 4 Pack Remedy To Use Saline Laxative	1	0	0		IRR	Liquid	708	4.5	Ounce	24.89051172	Gallons	Retail Sales Floor
Canon U.S.A., Inc.	Canon Ink Tank 8 Value Pack - 8 Yellow Ink Tank CLI-8Y	1	0	0		IRR	Liquid	18	17	MilliLiter	0.08083656	Gallons	Retail Sales Floor
Church & Dwight Co., Inc.	Mentadent Replenishing White Toothpaste	1	0	0		IRR	Liquid	156	3.5	Ounce	3.4125	Gallons	Retail Sales Floor
Colgate-Palmolive Company	Colgate Total Whitening Gel 4 Pack	1	0	0		IRR	Liquid	1480	7.8	Ounce	90.1871004	Gallons	Retail Sales Floor
Cumberland-Swan, Inc.	Hydrogen Peroxide Topical Solution USP 2 Pack	1	0	0		IRR	Liquid	108	32	Ounce	26.99988012	Gallons	Retail Sales Floor
Cumberland-Swan, Inc.	Swan Epsom Salt	1	0	0		IRR	Solid	25	6	Pound	150	Pounds	Retail Sales Floor
Dial Corporation	Soft Scrub Deep Clean Foaming Cleanser 3 Pack	1	0	0		IRR	Liquid	66	25.4	Ounce	13.09681692	Gallons	Retail Sales Floor
GlaxoSmithKline Consumer Healthcare L.P.	Sensodyne Maximum Strength With Fluoride Toothpaste 3 Pack	1	0	0		IRR	Liquid	756	6.5	Ounce	30.7125	Gallons	Retail Sales Floor
Graham Webb International	Back to Basic Bamboo Straightening Conditioner	1	0	0		IRR	Liquid	112	33.8	Ounce	29.57486896	Gallons	Retail Sales Floor
Graham Webb International	Back to Basic Bamboo Straightening Shampoo	1	0	0		IRR	Liquid	112	33.8	Ounce	29.57486896	Gallons	Retail Sales Floor
Graham Webb International	Back to Basic Jasmine Curl Refreshing Conditioner	1	0	0		IRR	Liquid	112	33.8	Ounce	29.57486896	Gallons	Retail Sales Floor
Graham Webb International	Back to Basic Jasmine Curl Refreshing Shampoo	1	0	0		IRR	Liquid	112	33.8	Ounce	29.57486896	Gallons	Retail Sales Floor
Hisamitsu Pharmaceutical Co., Inc.	Salonpas-Hot Capsicum Patch	1	0	0		IRR	Liquid	1080	0.5	Ounce	3.375	Gallons	Retail Sales Floor
Lebanon Seaboard Corporation	Preen Garden Weed Preventer	1	0	0		IRR	Solid	25	8.15	Kilogram	449.1942063	Pounds	Retail Sales Floor
Neutrogena Corporation	Neutrogena Lip Moisturizer with Paba-Free Sunscreen Protection SPF 15	1	0	0		IRR	Solid	13	0.5	Ounce	0.40625208	Pounds	Retail Sales Floor
Neutrogena Corporation	Neutrogena Rainbath Refreshing Shower And Bath Gel	1	0	0		IRR	Liquid	324	40	Ounce	101.2495496	Gallons	Retail Sales Floor
Nexus Beauty Products	Nexus Salon Hair Care Therappe Luxury Moisturizing Shampoo	1	0	0		IRR	Liquid	445	44	Ounce	152.9680692	Gallons	Retail Sales Floor
Ortho Group	Ortho Home Defense Max Perimeter & Indoor Insect Killer	1	0	0		IRR	Liquid	1	2	Gallon	2	Gallons	Retail Sales Floor
Ortho Group	Ortho Weed B Gone Max Plus Crabgrass Control	1	0	0		IRR	Liquid	37	2	Gallon	74	Gallons	Retail Sales Floor
Procter & Gamble	Olay Body Wash Age Defying with VitaNiacin	1	0	0		IRR	Liquid	1555	6.8	Ounce	82.6090018	Gallons	Retail Sales Floor
Procter & Gamble	Olay Daily Facials Deep Cleansing Cloths	1	0	0		IRR	Solid	9840	0.25	Ounce	153.7507872	Pounds	Retail Sales Floor
Procter & Gamble	Pantene Always Smooth Shampoo	1	0	0		IRR	Liquid	1930	40	Ounce	603.1223173	Gallons	Retail Sales Floor
Procter & Gamble	Pantene Conditioner Always Smooth	1	0	0		IRR	Liquid	158	40	Ounce	49.37478038	Gallons	Retail Sales Floor
Procter & Gamble	Pantene Pro-V Sheer Always Smooth Shampoo 75% Smoother Hair	1	0	0		IRR	Liquid	219	40	Ounce	68.43719559	Gallons	Retail Sales Floor
Procter & Gamble	ThermaCare Heatwraps Neck Shoulder & Wrist	1	0	0		IRR	Solid	258	0.25	Ounce	4.03127064	Pounds	Retail Sales Floor

Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Quatre S Cosmetics	Dr. Brandt Lineless Essential Kit - Lineless Gel	1	0	0		IRR	Liquid	17	2	Ounce	0.2572032	Gallons	Retail Sales Floor
Quatre S Cosmetics	Dr. Brandt Lineless Essential Kit - Lineless Toner	1	0	0		IRR	Liquid	17	2	Ounce	0.2546311	Gallons	Retail Sales Floor
Smashbox	Smashbox Cosmetics Behind the Scenes Beauty Kit - Fusion Eye Shadow	1	0	0		IRR	Solid	77	0.3	Ounce	1.4437577	Pounds	Retail Sales Floor
Unilever	Degree Women's Ultra Clear Pure Satin 4 Pack	1	0	0		IRR	Solid	68	2.6	Ounce	11.0500578	Pounds	Retail Sales Floor
Unilever	Dove Energy Glow Beauty Body Lotion 2 Pack	1	0	0		IRR	Liquid	1268	13.5	Ounce	133.733779	Gallons	Retail Sales Floor
Unilever	Suave Kids 3 Pack - Wild Watermelon Detangling Tear Free	2	0	0		IRR	Liquid	14	22.5	Ounce	2.46092658	Gallons	Retail Sales Floor
University Medical Products USA, Inc.	UM Acne Free Renewing Toner	1	0	0		IRR	Liquid	876	8	Ounce	54.74975472	Gallons	Retail Sales Floor
Valco Enterprises LLC	Neolia Deep Moisturizing Olive Oil Body Wash	1	0	0		IRR	Liquid	512	25.5	Ounce	101.9995494	Gallons	Retail Sales Floor
Method Home Care	Hand Wash - Green Tea & Aloe	1	0	0		IRR	Liquid	72	12	Ounce	6.74996976	Gallons	Retail Sales Floor
Method Home Care	Hand Wash - Green Tea & Aloe	1	0	0		IRR	Liquid	36	25	Ounce	7.03121868	Gallons	Retail Sales Floor
3M	Nexcare Advances Foot Care Kit - Advanced Foot Balm	1	0	0		IRR	Solid	72	0.5	Ounce	2.25001152	Pounds	Retail Sales Floor
3M	Nexcare Advances Foot Care Kit - Advanced Foot Cream	1	0	0		IRR	Solid	36	3.25	Ounce	9.14063292	Pounds	Retail Sales Floor
Pfizer Consumer Healthcare	Cool Mint Listerine Twin Pack	1	0	0		IRR	Solid	2288	1.5	Liter	9066.432415	Pounds	Retail Sales Floor
Pfizer Consumer Healthcare	Lubriderm Daily Moisture Lotion for Normal Dry Skin Pak	1	0	0		IRR	Liquid	844	19.6	Ounce	129.2369261	Gallons	Retail Sales Floor
Pfizer Consumer Healthcare	Lubriderm Daily Moisture Lotion for Normal Dry Skin Pak	1	0	0		IRR	Liquid	422	6	Ounce	19.78116138	Gallons	Retail Sales Floor
Colgate-Palmolive Company	Fabuloso Multi-Use Cleaner Lavender	1	0	0		IRR	Liquid	68	1.69	Gallon	114.92	Gallons	Retail Sales Floor
Monsanto	Roundup Weed & Grass Killer Super Concentrate	1	0	0		IRR	Liquid	56	53.7	Ounce	23.49364584	Gallons	Retail Sales Floor
Colgate-Palmolive Company	Suavitel Fabric Softener - Field Flowers	1	0	0		IRR	Liquid	424	200	Ounce	662.4970617	Gallons	Retail Sales Floor
Bausch & Lomb, Inc.	OPCON A Itching & Redness Relief	1	0	0		IRR	Liquid	48	1	Ounce	0.37499856	Gallons	Retail Sales Floor
Canon U.S.A., Inc.	Canon Ink Tank 8 Value Pack - 5 PGBK Black Ink Tank PGI-5BK	1	0	0		IRR	Liquid	18	17	MilliLiter	0.08083656	Gallons	Retail Sales Floor
Clorox Company	Clorox 2 Chlorine Free Bleach	1	0	0		IRR	Liquid	84	170.5	Ounce	111.8901286	Gallons	Retail Sales Floor
Reckitt Benckiser, Inc.	Electrasol PowerBall Tabs	1	0	0		IRR	Solid	297	61	Ounce	1132.31841	Pounds	Retail Sales Floor
Johnson & Johnson Consumer Products	ROC Deep Wrinkle Daily Moisturizer	1	0	0		IRR	Liquid	66	1	Ounce	0.51562302	Gallons	Retail Sales Floor
Galderma Laboratories, Inc.	Cetaphil Moisturizing Cream	1	0	0		IRR	Liquid	190	20	Ounce	29.6873689	Gallons	Retail Sales Floor
Johnson & Johnson Consumer Products	ROC Deep Wrinkle Night Cream	1	0	0		IRR	Liquid	44	1	Ounce	0.34374868	Gallons	Retail Sales Floor
Procter & Gamble	Crest Pro Health Rinse	1	0	0		IRR	Liquid	70	50.7	Ounce	27.7264393	Gallons	Retail Sales Floor
Procter & Gamble	Pantene Pro-V Sheer Volume Voulmizante Shampoo 50% More Volume	1	0	0		IRR	Liquid	216	40	Ounce	67.49969976	Gallons	Retail Sales Floor
Procter & Gamble	Pantene Sheer Volume Shampoo	1	0	0		IRR	Liquid	1930	40	Ounce	603.1223173	Gallons	Retail Sales Floor
Procter & Gamble	Bounce Dryer Sheets Outdoor Fresh	1	0	0		IRR	Solid	1458	2	Pound	2916	Pounds	Retail Sales Floor
Canon U.S.A., Inc.	Canon Ink Tank 8 Value Pack - 8 Cyan Ink Tank CLI-8C	1	0	0		IRR	Liquid	18	17	MilliLiter	0.08083656	Gallons	Retail Sales Floor
Truescents	KS Bar Soap (Truescents)	1	0	0		IRR	Solid	5610	4.5	Ounce	1577.820747	Pounds	Retail Sales Floor

Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Reckitt Benckiser, Inc.	Spray'N Wash Advanced Grease N Grass Stain Remover with Resolve Power Pack	1	0	0		IRR	Liquid	424	144	Ounce	476.9978842	Gallons	Retail Sales Floor
Reckitt Benckiser, Inc.	Spray'N Wash Advanced Grease N Grass Stain Remover with Resolve Power Pack	1	0	0		IRR	Liquid	424	22	Ounce	72.87467776	Gallons	Retail Sales Floor
Procter & Gamble	Olay Regenerist Microdermabrasion and Peel System Kit - Microdermabrasion Treatment	1	0	0		IRR	Liquid	110	2.2	Ounce	1.5125	Gallons	Retail Sales Floor
Procter & Gamble	Olay Regenerist Microdermabrasion and Peel System Kit - Peel Activator Serum	1	0	0		IRR	Liquid	110	2	Ounce	1.375	Gallons	Retail Sales Floor
Scott's Company	Scotts Turf Builder with Summerguard	1	0	0		IRR	Solid	52	34.02	Pound	1769.04	Pounds	Retail Sales Floor
Procter & Gamble	Olay Regenerist Daily Regenerating Serum	1	0	0		IRR	Liquid	249	3.4	Ounce	6.61403262	Gallons	Retail Sales Floor
Canon U.S.A., Inc.	Canon Ink Tank 8 Value Pack - 8 Black Ink Tank CLI-8BK	1	0	0		IRR	Liquid	18	17	MilliLiter	0.08083656	Gallons	Retail Sales Floor
Canon U.S.A., Inc.	Canon Ink Tank 8 Value Pack - 8 Magenta Ink Tank CLI-8M	1	0	0		IRR	Liquid	18	17	MilliLiter	0.08083656	Gallons	Retail Sales Floor
Method Home Care	Hand Wash-Sweet Water	1	0	0		IRR	Liquid	36	25	Ounce	7.03121868	Gallons	Retail Sales Floor
Method Home Care	Hand Wash-Sweet Water	1	0	0		IRR	Liquid	72	12	Ounce	6.74996976	Gallons	Retail Sales Floor
Procter & Gamble	Olay Complete Body Wash with Shea Butter	1	0	0		IRR	Liquid	3110	23.6	Ounce	573.4036998	Gallons	Retail Sales Floor
Johnson & Johnson Consumer Products	Aveeno Daily Moisturizing Lotion	1	0	0		IRR	Liquid	948	18	Ounce	133.3119122	Gallons	Retail Sales Floor
GlaxoSmithKline Consumer Healthcare L.P.	Aquafresh Extreme Clean Mint Flavor 4 Pack	1	0	0		IRR	Liquid	2092	7.6	Ounce	124.2119561	Gallons	Retail Sales Floor
Johnson & Johnson Consumer Products	Baby Lotion Kit	1	0	0		IRR	Liquid	71	9	Ounce	4.99216549	Gallons	Retail Sales Floor
Johnson & Johnson Consumer Products	Johnsons Baby Lotion	1	0	0		IRR	Liquid	30	27	Ounce	6.3280968	Gallons	Retail Sales Floor
Beiersdorf, Inc.	Nivea Skin Firming Lotion with Q10 Plus	1	0	0		IRR	Liquid	148	34	Ounce	39.31232536	Gallons	Retail Sales Floor
Procter & Gamble	Crest Professional Level Whitening at Home Kit - Whitestrips Premium Plus	1	0	0		IRR	Solid	83	5.6	Ounce	29.05015189	Pounds	Retail Sales Floor
Huish Detergents, Inc.	Kirkland Dishwasher Detergent Liquid Gel 2 Pack	1	0	0		IRR	Liquid	468	125	Ounce	457.0292236	Gallons	Retail Sales Floor
Colgate-Palmolive Company	Softsoap Liquid Hand Soap-All Variants	1	0	0		IRR	Liquid	730	128	Ounce	729.9967588	Gallons	Retail Sales Floor
Johnson & Johnson Consumer Products	Head-To-Toe Baby Wash Kit	1	0	0		IRR	Liquid	142	28	Ounce	31.06236226	Gallons	Retail Sales Floor
Procter & Gamble	Crest Whitening Plus Scope Toothpaste	1	0	0		IRR	Liquid	520	8	Ounce	32.4998544	Gallons	Retail Sales Floor
Dial Corporation	Dial Antibacterial Liquid Hand Soap-Gold	1	0	0		IRR	Liquid	316	1	Gallon	316	Gallons	Retail Sales Floor
Galderma Laboratories L.P.	Cetaphil Moisturizing Lotion 2 Pack	1	0	0		IRR	Liquid	146	20	Ounce	22.81239926	Gallons	Retail Sales Floor
Procter & Gamble	Cascade Dish Washer Detergent	2	0	0		IRR	Solid	569	125	Ounce	4445.33571	Pounds	Retail Sales Floor
Lexmark International, Inc.	70 Black Print Cartridge	1	0	0		IRR	Liquid	19	25	MilliLiter	0.1254817	Gallons	Retail Sales Floor
Huish Detergents, Inc.	Kirkland Ultra Laundry Detergent With Color Safe Bleach Fresh & Clean Scent	1	0	0		IRR	Solid	216	270	Ounce	3645.01903	Pounds	Retail Sales Floor
Hewlett-Packard Company	Vivera Inkjet Combo Pak 98, 95 - 95 Tri-Color Inkjet Cartridge	1	0	0		IRR	Solid	72	7	MilliLiter	1.33336296	Pounds	Retail Sales Floor
Hewlett-Packard Company	Vivera Inkjet Combo Pak 98, 95 - 98 Black Inkjet Cartridge	1	0	0		IRR	Solid	144	11	MilliLiter	4.19056848	Pounds	Retail Sales Floor
Marc Anthony Cosmetics Inc.	Marc Anthony True Professional Shampoo & Conditioner Pak - Instantly Thick Conditioner	1	0	0		IRR	Liquid	190	12.9	Ounce	19.148352	Gallons	Retail Sales Floor
Marc Anthony Cosmetics Inc.	Marc Anthony True Professional Shampoo & Conditioner Pak - Instantly Thick Conditioner	1	0	0		IRR	Liquid	190	12.9	Ounce	19.148352	Gallons	Retail Sales Floor
Marc Anthony Cosmetics Inc.	Marc Anthony True Professional Shampoo & Conditioner Pak - Instantly Thick Shampoo	1	0	0		IRR	Liquid	190	33.8	Ounce	50.1716527	Gallons	Retail Sales Floor

Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Marc Anthony Cosmetics Inc.	Marc Anthony True Professional Shampoo & Conditioner Pak - Instantly Thick Shampoo	1	0	0		IRR	Liquid	190	33.8	Ounce	50.1716527	Gallons	Retail Sales Floor
Unilever	AXE Essence Clix Boost Kit - Clix Anti-Perspirant & Deodorant Invisible Solid	1	0	0		IRR	Solid	18	2.7	Ounce	3.03751584	Pounds	Retail Sales Floor
Unilever	AXE Essence Clix Boost Kit - Clix Anti-Perspirant & Deodorant Invisible Solid	1	0	0		IRR	Solid	18	2.7	Ounce	3.03751584	Pounds	Retail Sales Floor
Marc Anthony Cosmetics Inc.	Marc Anthony True Professional Shampoo & Conditioner Pak - Moisture Gloss Conditioner	2	0	0		IRR	Liquid	185	12.9	Ounce	18.644448	Gallons	Retail Sales Floor
Marc Anthony Cosmetics Inc.	Marc Anthony True Professional Shampoo & Conditioner Pak - Moisture Gloss Conditioner	2	0	0		IRR	Liquid	185	12.9	Ounce	18.644448	Gallons	Retail Sales Floor
Marc Anthony Cosmetics Inc.	Marc Anthony True Professional Shampoo & Conditioner Pak - Moisture Gloss Shampoo	2	0	0		IRR	Liquid	185	33.8	Ounce	48.85134605	Gallons	Retail Sales Floor
Marc Anthony Cosmetics Inc.	Marc Anthony True Professional Shampoo & Conditioner Pak - Moisture Gloss Shampoo	2	0	0		IRR	Liquid	185	33.8	Ounce	48.85134605	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 96, 97 Combo Pack - 96 Black Inkjet Print Cartridge	1	0	0		IRR	Liquid	17	21	MilliLiter	0.09430937	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 96, 97 Combo Pack - 97 Tri-Color Inkjet Print Cartridge	1	0	0		IRR	Liquid	34	14	MilliLiter	0.12574594	Gallons	Retail Sales Floor
Clorox Pet Products Co.	Scoop Away Maximum Odor Control Fresh Scent	1	0	0		IRR,CAR	Solid	76	40	Pound	3040	Pounds	Retail Sales Floor
Clorox Company	Kingsford Charcoal Briquets	2	0	1	OXY	IRR,CAR,OHH,SEN,OXY1	Solid	392	21.6	Pound	8467.2	Pounds	Retail Sales Floor
Scott's Company	Scotts Turfbuilder Plus 2 Fertilizer + Weed Control	1	1	0		IRR,CD	Solid	5	34.29	Pound	171.45	Pounds	Retail Sales Floor
Canon U.S.A., Inc.	Canon L50 Cartridge (for Copier/Printer)	1	1	0		IRR,CD,OHH	Solid	21	2	Pound	42	Pounds	Retail Sales Floor
PDI - Nice-Pack Products, Inc.	Kirkland Disinfectant Wipes Varsity 3 Pack - Household Surface Wipes Orange Scent	1	2	0		IRR,CLII	Liquid	98	2	Pound	23.8921452	Gallons	Retail Sales Floor
Procter & Gamble	Covergirl Volume Exact Volumizing Mascara Very Black 2 Pack	1	2	0		IRR,CLII	Liquid	756	0.24	Ounce	1.41749244	Gallons	Retail Sales Floor
Hewlett-Packard Company	C6656A	2	2	0		IRR,CLII	Liquid	264	17	MilliLiter	1.18560288	Gallons	Retail Sales Floor
Colgate-Palmolive Company	Palmolive Ultra Dish Liquid Original	2	2	0		IRR,CLII	Liquid	455	90	Ounce	319.9204554	Gallons	Retail Sales Floor
Reckitt Benckiser, Inc.	Lysol Sanitizing Wipes 4 Pack	1	2	0		IRR,CLII	Liquid	1227	2.25	Pound	337.5620314	Gallons	Retail Sales Floor
Canon U.S.A., Inc.	Canon Ink Tank 3e Value Pack - 3e Yellow BCI-3eY Ink Tank	1	2	0		IRR,CLII	Liquid	41	17	MilliLiter	0.18412772	Gallons	Retail Sales Floor
Procter & Gamble	Scope Mouthwash	1	2	0		IRR,CLII	Liquid	1137	50.7	Ounce	450.3565926	Gallons	Retail Sales Floor
Procter & Gamble	Liquid Hand Dishwashing Detergents	1	2	0		IRR,CLII	Liquid	540	90	Ounce	379.6858152	Gallons	Retail Sales Floor
Canon U.S.A., Inc.	Canon Ink Tank 3e Value Pack - 3e Cyan BCI-3eC Ink Tank	1	2	0		IRR,CLII	Liquid	41	17	MilliLiter	0.18412772	Gallons	Retail Sales Floor
Clorox Company	Original Pine-Sol Brand Cleaner	2	2	0		IRR,CLII	Liquid	58	175	Ounce	79.29652294	Gallons	Retail Sales Floor
PDI - Nice-Pack Products, Inc.	Kirkland Disinfectant Wipes Varsity 3 Pack - Household Surface Wipes Fresh Air Scent	1	2	0		IRR,CLII	Liquid	98	2	Pound	23.8921452	Gallons	Retail Sales Floor
PDI - Nice-Pack Products, Inc.	Kirkland Disinfectant Wipes Varsity 3 Pack - Household Surface Wipes Lemon Scent	1	2	0		IRR,CLII	Liquid	98	2	Pound	23.8921452	Gallons	Retail Sales Floor
Hewlett-Packard Company	C6615 Series	1	2	0		IRR,CLII	Liquid	144	25	MilliLiter	0.9510192	Gallons	Retail Sales Floor
Hewlett-Packard Company	HP 54 Inkjet Print Cartridge Black Twin-Pack	1	2	0		IRR,CLII	Liquid	6	42	MilliLiter	0.06657138	Gallons	Retail Sales Floor
Har Par Corporation Ltd.	Tiger Balm Ultra Strength Ointment Twin Pack	1	2	0		IRR,CLIIIA	Liquid	62	50	Gram	0.68343282	Gallons	Retail Sales Floor
Procter & Gamble	Vicks VapoRub	1	2	0		IRR,CLIIIA	Liquid	26	6	Ounce	0.975	Gallons	Retail Sales Floor
Clorox Company	Armor All Auto Glass Cleaner	1	2	0		IRR,CLIIIA	Liquid	5	22	Ounce	0.8593712	Gallons	Retail Sales Floor
Procter & Gamble	Crest Professional Level Whitening at Home Kit - Vivid White Fluoride Toothpaste	1	2	0		IRR,CLIIIA	Liquid	83	4.1	Ounce	1.69903905	Gallons	Retail Sales Floor

Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Procter & Gamble	Liquid Downy Non-Concentrate-All Variations Liquid Fabric Softener	1	2	0		IRR,CLIIIA	Liquid	973	129	Ounce	980.5972132	Gallons	Retail Sales Floor
Farouk Systems Inc	Biosilk Silk Therapy	1	2	0		IRR,CLIIIA	Liquid	98	5.64	Ounce	4.3181054	Gallons	Retail Sales Floor
Armor All Products Corp.	Armor All Multi-Purpose Auto Cleaner Wipes	1	1	0		IRR,CLIIIB	Liquid	5	10	Ounce	0.37445755	Gallons	Retail Sales Floor
Borghese Inc.	Age-Defying Kit - Protective Moisture Lotion SPF 15	1	1	0		IRR,CLIIIB	Liquid	50	1.5	Ounce	0.585935	Gallons	Retail Sales Floor
Borghese Inc.	Age-Defying Kit - Pure Moisture Cleanser	1	1	0		IRR,CLIIIB	Liquid	50	2.5	Ounce	0.976558	Gallons	Retail Sales Floor
Borghese Inc.	Age-Defying Kit - Wrinkle Defense Serum	1	1	0		IRR,CLIIIB	Liquid	50	5	Ounce	1.9531165	Gallons	Retail Sales Floor
Borghese Inc.	Age-Defying Protective Eye Cream 2 Pack	1	1	0		IRR,CLIIIB	Liquid	146	0.5	Ounce	0.57030958	Gallons	Retail Sales Floor
Borghese Inc.	Age-Defying Protective Lotion SPF 15	1	1	0		IRR,CLIIIB	Liquid	72	3.4	Ounce	1.91249136	Gallons	Retail Sales Floor
Borghese Inc.	Age-Defying Wrinkle Defense Serum	1	1	0		IRR,CLIIIB	Liquid	35	1.7	Ounce	0.46484165	Gallons	Retail Sales Floor
Borghese Inc.	Pure Moisturizing Cleanser	1	1	0		IRR,CLIIIB	Liquid	36	7	Ounce	1.96874136	Gallons	Retail Sales Floor
Combined Resources International	Message Store Memory Making Stamps 16 Unique Self-Inking Stamps	2	1	0		IRR,CLIIIB	Liquid	2960	20	MilliLiter	15.6389824	Gallons	Retail Sales Floor
Dial Corporation	Soft Scrub With Bleach Cleanser 3 Pack	1	1	0		IRR,CLIIIB	Liquid	324	36	Ounce	91.124595	Gallons	Retail Sales Floor
Exxon/Mobil Oil Corporation	Mobil 1 Fully Synthetic Motor Oil 10W-30	1	1	0		IRR,CLIIIB	Liquid	1668	1	Quart	416.9986823	Gallons	Retail Sales Floor
Exxon/Mobil Oil Corporation	Mobil 1 Fully Synthetic Motor Oil 15W-50 6 Pack	1	1	0		IRR,CLIIIB	Liquid	282	1	Quart	70.49977722	Gallons	Retail Sales Floor
Hewlett-Packard Company	C9396A	1	1	0		IRR,CLIIIB	Liquid	84	58.5	MilliLiter	1.29814104	Gallons	Retail Sales Floor
Lancome Luxury Products LLC	High Resolution with Collaser-48	1	1	0		IRR,CLIIIB	Liquid	36	1	Ounce	0.2696094	Gallons	Retail Sales Floor
Nexus Beauty Products	Nexus Salon Hair Care Humectress Ultimate Moisturizing Conditioner	1	1	0		IRR,CLIIIB	Liquid	95	44	Ounce	32.65610465	Gallons	Retail Sales Floor
Ortho Group	Ortho Ground Clear Complete Vegetation Killer	1	1	0		IRR,CLIIIB	Liquid	80	1.25	Gallon	100	Gallons	Retail Sales Floor
Procter & Gamble	Crest Pro-Health-Clean Mint	1	1	0		IRR,CLIIIB	Liquid	381	7.8	Ounce	15.34914507	Gallons	Retail Sales Floor
Reckitt Benckiser Professional	Lysol Brand Disinfectant All Purpose All Purpose Cleaner Lemon Breeze	1	1	0		IRR,CLIIIB	Liquid	242	144	Ounce	272.2487924	Gallons	Retail Sales Floor
Sun Pharmaceuticals Corp.	Banana Boat Sport Dry-Block Advance AvoTriplex UVA/UVB Sunblock SPF 30 No Slip Dry Lotion	1	1	0		IRR,CLIIIB	Liquid	60	6	Ounce	2.8124874	Gallons	Retail Sales Floor
Turtle Wax, Inc.	Turtle Wax Ice Synthetic Car Wash T-471, T-472	2	1	0		IRR,CLIIIB	Liquid	55	1	Gallon	55	Gallons	Retail Sales Floor
Hewlett-Packard Company	C9352 Series	1	1	0		IRR,CLIIIB	Liquid	72	5	MilliLiter	0.09510192	Gallons	Retail Sales Floor
Procter & Gamble Company-Health Care Research Cent	Olay Total Effects 7x Visible Anti-Aging Vitamin Complex	1	1	0		IRR,CLIIIB	Liquid	37	3.4	Ounce	0.98280806	Gallons	Retail Sales Floor
Reckitt Benckiser, Inc.	Jet Dry Rinse Agent Original	1	1	0		IRR,CLIIIB	Liquid	997	32	Ounce	249.2488933	Gallons	Retail Sales Floor
Reckitt Benckiser, Inc.	Woolite Original	1	1	0		IRR,CLIIIB	Liquid	587	150	Ounce	687.8875726	Gallons	Retail Sales Floor
Procter & Gamble	Head & Shoulders Classic Clean Anti-Dandruff Shampoo	1	1	0		IRR,CLIIIB	Liquid	614	40	Ounce	191.8741465	Gallons	Retail Sales Floor
Procter & Gamble	Head & Shoulders Dry Scalp Care anti-Dandruff Shampoo	1	1	0		IRR,CLIIIB	Liquid	613	40	Ounce	191.5616479	Gallons	Retail Sales Floor
Procter & Gamble	Cascade 2in1 ActionPacs Dawn	1	1	0		IRR,CLIIIB	Liquid	443	60.3	Ounce	219.842799	Gallons	Retail Sales Floor
Exxon/Mobil Oil Corporation	Mobil 1 Fully Synthetic Motor Oil SAE 5W-30 6 Pack	1	1	0		IRR,CLIIIB	Liquid	942	1	Quart	235.4992558	Gallons	Retail Sales Floor
Unilever Home & Personal Care - USA	Dove Conditioner Intense Moisture	1	1	0		IRR,CLIIIB	Liquid	107	40	Ounce	33.43735127	Gallons	Retail Sales Floor

Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Procter & Gamble	Pantene Pro-V Sheer Volume Conditioner	1	1	0		IRR,CLIIIB	Liquid	158	40	Ounce	49.37478038	Gallons	Retail Sales Floor
Unilever Company	All Laundry Detergent (Liquid)	1	1	0		IRR,CLIIIB	Liquid	502	300	Ounce	1176.557279	Gallons	Retail Sales Floor
Unilever Home & Personal Care - USA	Snuggle Fabric Softener/Conditioner - All Scents	1	1	0		IRR,CLIIIB	Liquid	137	300	Ounce	321.0923252	Gallons	Retail Sales Floor
Unilever Home & Personal Care - USA	Axe Shower Gel-All Vanants	1	1	0		IRR,CLIIIB	Liquid	18	12	Ounce	1.68749244	Gallons	Retail Sales Floor
Huish Detergents Inc.	Liquid Dish Detergent	1	1	0		IRR,CLIIIB	Liquid	234	128	Ounce	233.998961	Gallons	Retail Sales Floor
Almay Inc.	Almay Beauty 1-2-3 Bring Out The Blue Intense i-Color Pack - Liner - Brown Topaz 2	1	1	0		IRR,CLIIIB	Liquid	51	0.009	Ounce	0.0034374	Gallons	Retail Sales Floor
Almay Inc.	Almay Beauty 1-2-3 Bring Out The Blue Intense i-Color Pack - Mascara - Blue Sapphire 3	1	1	0		IRR,CLIIIB	Liquid	51	0.22	Ounce	0.08402811	Gallons	Retail Sales Floor
Almay Inc.	Almay Beauty 1-2-3 Bring Out The Blue Intense i-Color Pack - Shadow-Trio for Blue 1	1	1	0		IRR,CLIIIB	Liquid	51	0.13	Ounce	0.04965309	Gallons	Retail Sales Floor
Almay Inc.	Almay Beauty 1-2-3 Bring Out The Brown Intense i-Color Pack - Liner Purple Amethyst	1	1	0		IRR,CLIIIB	Liquid	22	0.009	Ounce	0.0014828	Gallons	Retail Sales Floor
Almay Inc.	Almay Beauty 1-2-3 Bring Out The Brown Intense i-Color Pack - Mascara Brown Topaz	1	1	0		IRR,CLIIIB	Liquid	22	0.22	Ounce	0.03624742	Gallons	Retail Sales Floor
Almay Inc.	Almay Beauty 1-2-3 Bring Out The Brown Intense i-Color Pack - Trio for Brown 1	1	1	0		IRR,CLIIIB	Liquid	22	0.13	Ounce	0.02141898	Gallons	Retail Sales Floor
Procter & Gamble	Cascade Complete Gel (Fresh Scent, Citrus Breeze & Melon Blossom Scents)	1	1	0		IRR,CLIIIB	Liquid	254	125	Ounce	248.0457752	Gallons	Retail Sales Floor
Bissell, Inc.	Bissell Multi-Allergen Removal Formula W/Scotchgard	1	1	0		IRR,CLIIIB	Liquid	114	128	Ounce	113.9994938	Gallons	Retail Sales Floor
Unilever	New Dove Cream Oil Body Wash Creamy 2 Pack	1	1	0		IRR,CLIIIB	Liquid	1084	19.4	Ounce	164.2930237	Gallons	Retail Sales Floor
Hewlett-Packard Company	C6578 Series	1	1	0		IRR,CLIIIB	Liquid	55	38	MilliLiter	0.5521197	Gallons	Retail Sales Floor
Huish Detergents, Inc.	WinTree 2X Liquid Laundry Detergent	1	1	0		IRR,CLIIIB	Liquid	170	200	Ounce	265.6238219	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera Inkjet Combo Pak 98, 95 - 95 Tri-Color Inkjet Cartridge	1	1	0		IRR,CLIIIB	Liquid	72	7	MilliLiter	0.1331424	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera Inkjet Combo Pak 98, 95 - 98 Black Inkjet Cartridge	1	1	0		IRR,CLIIIB	Liquid	144	11	MilliLiter	0.41844816	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 74XL, 75XL Combo Pack - 74XL Tri-Color Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	54	12	MilliLiter	0.17118324	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 74XL, 75XL Combo Pack - 74XL Tri-Color Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	54	12	MilliLiter	0.17118324	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 88XL Combo Pack - 88XL Cyan Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	43	17	MilliLiter	0.19310956	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 88XL Combo Pack - 88XL Cyan Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	43	17	MilliLiter	0.19310956	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 88XL Combo Pack - 88XL Cyan Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	43	17	MilliLiter	0.19310956	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 88XL Combo Pack - 88XL Magenta Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	43	17	MilliLiter	0.19310956	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 88XL Combo Pack - 88XL Magenta Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	43	17	MilliLiter	0.19310956	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 88XL Combo Pack - 88XL Magenta Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	43	17	MilliLiter	0.19310956	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 88XL Combo Pack - 88XL Yellow Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	43	17	MilliLiter	0.19310956	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 88XL Combo Pack - 88XL Yellow Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	43	17	MilliLiter	0.19310956	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 88XL Combo Pack - 88XL Yellow Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	43	17	MilliLiter	0.19310956	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 94, 97 Inkjet Print Cartridge Combo pack - 94 Black Inkjet Print Cartridge	1	1	0		IRR,CLIIIB	Liquid	2	11	MilliLiter	0.00581178	Gallons	Retail Sales Floor
Hewlett-Packard Company	Vivera HP Inks 02 Combo Pack 6 - Black Ink Cartridge	1	1	0		IRR,CLIIIB	Liquid	46	10	MilliLiter	0.12151912	Gallons	Retail Sales Floor

Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Hewlett-Packard Company	Vivera HP Inks 94, 97 Inkjet Print Cartridge Combo pack - 94 Black Inkjet Print Cartridge	1	1	1	OXY	IRR,CLIIIB,OXY1	Liquid	2	11	MilliLiter	0.00581178	Gallons	Retail Sales Floor
S.C. Johnson	Skintimate Skin Therapy Moisturizing Shave Gel Lotionized Vitamin E Dry Skin Pack	1	3	0		IRR,FLIB	Liquid	924	9.5	Ounce	65.73977256	Gallons	Retail Sales Floor
Pfizer Consumer Healthcare	Men's Rogaine 5% Minoxidil Topical Aerosol Hair Regrowth Treatment Foam	1	3	0		IRR,FLIC	Liquid	56	2.11	Ounce	0.89295472	Gallons	Retail Sales Floor
Armor All Products Corp.	Armor All Tire Foam Protectant	1	1	0		IRR,LEVEL1	Aerosol	5	20	Ounce	6.25003265	Pounds	Retail Sales Floor
S.C. Johnson	Bonus - Edge Active Care Great Shave - Healthy Skin Therapy Fragrance Free Shave Gel	1	3	0		IRR,LEVEL1	Aerosol	952	7	Ounce	416.5021706	Pounds	Retail Sales Floor
ConAgra Foods, Inc.	All Natural Pam No-Stick Cooking Spray Original 4 Pack	1	2	0		IRR,LEVEL2	Aerosol	675	8	Ounce	337.5017618	Pounds	Retail Sales Floor
S.C. Johnson Wax	Off Skintastic Spray-Unscented	2	3	0		IRR,LEVEL3	Aerosol	41	6	Ounce	12.51029351	Pounds	Retail Sales Floor
Schering-Plough Health Care Products, Inc.	Lotrimin AF Powder Spray 2 Pack	1	4	0		IRR,LEVEL3	Aerosol	20	4.6	Ounce	5.9982646	Pounds	Retail Sales Floor
S.C. Johnson	Scrubbing Bubbles Bathroom Cleaner Fresh Clean Scent 4 Pack	1	3	0		IRR,LEVEL3	Aerosol	2300	25	Ounce	3593.768768	Pounds	Retail Sales Floor
S.C. Johnson Wax	Off Insect Repellent II	1	3	0		IRR,LEVEL3	Aerosol	41	6	Ounce	12.51029351	Pounds	Retail Sales Floor
Unilever	AXE Essence Clix Boost Kit - Clix Deodorant Bodyspray	1	3	0		IRR,LEVEL3	Aerosol	18	4	Ounce	4.50002358	Pounds	Retail Sales Floor
Procter & Gamble	Olay Definity Deep Penetrating Foaming Moisturizing Pack	1	3	0		IRR,LEVEL3	Aerosol	55	3.1	Ounce	10.65630555	Pounds	Retail Sales Floor
Procter & Gamble	Olay Definity Deep Penetrating Foaming UV Moisturizing-Pack	1	3	0		IRR,LEVEL3	Aerosol	53	3.1	Ounce	10.26880353	Pounds	Retail Sales Floor
Unilever	AXE Essence Clix Boost Kit - Clix Anti-Perspirant & Deodorant Invisible Solid	1	3	0		IRR,LEVEL3	Aerosol	18	2.7	Ounce	3.03751584	Pounds	Retail Sales Floor
Pfizer Consumer Healthcare	Listerine Whitening Pre-Brush Rinse Clean Mint Twin Pack	1	2	0		IRR,MUT_OHH,CLII	Liquid	330	1	Quart	82.4997393	Gallons	Retail Sales Floor
Pfizer Consumer Healthcare	Desitin Creamy Zinc Oxide Diaper Rash Ointment 2 Pack	1	0	0		IRR,OHH	Liquid	38	4.8	Ounce	0.96198672	Gallons	Retail Sales Floor
Pfizer Consumer Healthcare	Tucks Medicated Pads, Bulk Solution	1	0	0		IRR,OHH	Liquid	16800	0.25	Ounce	30.687216	Gallons	Retail Sales Floor
Clorox Company	Clorox Automatic Toilet Bowl Cleaner	2	0	0		IRR,OHH	Solid	230	62	Gram	31.4380836	Pounds	Retail Sales Floor
ChevronTexaco Corporation	Chevron Pro-Gard Fuel Injector Cleaner	1	2	0		IRR,OHH,CLII	Liquid	526	16	Ounce	65.7497107	Gallons	Retail Sales Floor
Pfizer Consumer Healthcare	Bengay Ultra Strength	2	2	0		IRR,OHH,CLIIIA	Liquid	110	6	Ounce	4.8222823	Gallons	Retail Sales Floor
KiNeSYS Company	Alcohol-Free Spray Sunscreen with Parsol 1789 Light Mango Fragrance 2 Pack	1	2	0		IRR,OHH,CLIIIA	Liquid	992	4	Ounce	30.99986112	Gallons	Retail Sales Floor
ChevronTexaco Corporation	Delo 400LE Heavy Duty Motor Oil Low Emission SAE 15W-40 6 Pack	1	1	0		IRR,OHH,CLIIIB	Liquid	162	1	Quart	40.49987202	Gallons	Retail Sales Floor
Procter & Gamble	with a Fusion of White Nectarine & Pink Coral Flower	1	1	0		IRR,OHH,CLIIIB	Liquid	14	40	Ounce	4.37498054	Gallons	Retail Sales Floor
ChevronTexaco Corporation	Chevron Supreme Motor Oil	1	1	0		IRR,OHH,CLIIIB	Liquid	1212	1	Quart	302.9990425	Gallons	Retail Sales Floor
ChevronTexaco Corporation	Chevron Supreme Motor Oil	1	1	0		IRR,OHH,CLIIIB	Liquid	1572	1	Quart	392.9987581	Gallons	Retail Sales Floor
Becton Dickinson Consumer Healthcare	BD Alcohol Swabs	1	3	0		IRR,OHH,FLIB	Liquid	6900	0.25	Ounce	14.781249	Gallons	Retail Sales Floor
Cumberland-Swan, Inc.	Isopropyl Alcohol 70% 2 Pack	1	3	0		IRR,OHH,FLIB	Liquid	280	32	Ounce	69.9996892	Gallons	Retail Sales Floor
WD-40 Company	Spot Shot and Spot Shot Professional (Aerosol) - Carpet Spot Remover	1	1	0		IRR,OHH,LEVEL1	Aerosol	792	21	Ounce	1039.505425	Pounds	Retail Sales Floor
Sprayway, Inc.	Spray Way Glass Cleaner 4 Pack	1	3	0		IRR,OHH,LEVEL3	Aerosol	1580	19	Ounce	1873.097616	Pounds	Retail Sales Floor
WD-40 Company	WD-40 3 Pack	1	2	0		IRR,OHH,LEVEL3	Aerosol	336	14.5	Ounce	260.4707246	Pounds	Retail Sales Floor
Sebastian International, Inc.	Sebastian Shaper Plus HS (55%VOC)	1	3	1		IRR,OHH,LEVEL3,UNST1	Aerosol	45	18	Ounce	63.2813049	Pounds	Retail Sales Floor

Manufacturer Name	Product Name	NFPA Health Rating	NFPA Fire Rating	NFPA Reactivity Rating	NFPA Special	Fire Code Hazard Classes	Physical State	Quantity	Container Size	Container Unit of Measure	Total Amount	Total Unit of Measure	Storage Location
Clorox Company	Clorox Clean-Up Cleaner with Bleach	2	1	0		IRR,OHH,SEN,CLIIIB	Liquid	371	180	Ounce	521.716435	Gallons	Retail Sales Floor
Clorox Company	Clorox Clean-Up Cleaner with Bleach	2	1	0		IRR,OHH,SEN,CLIIIB	Liquid	371	32	Ounce	92.74958819	Gallons	Retail Sales Floor
Church & Dwight Co., Inc.	OxiClean Versatile Stain Remover	2	0	1	OXY	IRR,OXY1	Solid	654	14	Pound	9156	Pounds	Retail Sales Floor
Clorox Company	Clorox Toilet Bowl Cleaner with Bleach Rain Clean 6 Pack	2	0	2	OXY	IRR,OXY2	Solid	1268	24	Ounce	3115.070887	Pounds	Retail Sales Floor
University Medical Products USA, Inc.	UM Acne Free Purifying Cleanser	2	0	0		IRR,SEN	Liquid	876	8	Ounce	54.74975472	Gallons	Retail Sales Floor
University Medical Products USA, Inc.	UM Acne Free Repair Lotion	2	0	0		IRR,SEN	Liquid	876	4	Ounce	27.37487736	Gallons	Retail Sales Floor
Huish Detergents Inc.	Powdered Auto Dish Detergent Tablet	2	0	0		IRR,SEN	Solid	468	100	Ounce	2925.015271	Pounds	Retail Sales Floor
Procter & Gamble	Tide and Tide with Bleach Tablets (All Variations) (Discontinued)	2	0	0		IRR,SEN	Solid	298	214	Ounce	3985.770809	Pounds	Retail Sales Floor
Reckitt Benckiser Professional	Air Wick Scented Oils	2	2	0		IRR,SEN,CLIIIA	Liquid	552	5.1	Ounce	21.99365064	Gallons	Retail Sales Floor
Sun Pharmaceuticals Corp.	Ultra Mist Banana Boat Sport Advanced AvoTriplex UVA/UVB Sunblock SPF 30 Continuous Clear Spray 2	2	3	0		IRR,SEN,LEVEL3	Aerosol	120	6	Ounce	41.7792168	Pounds	Retail Sales Floor
S.C. Johnson Wax	Pledge Lemon-Aerosol	0	4	0		LEVEL1	Aerosol	696	17.7	Ounce	962.4383352	Pounds	Retail Sales Floor
S.C. Johnson	Skintimate Aromatherapy Moisturizing Shave Gel Infused with Bergamot and Chamomile Essential Oils Simply Blissful Pack	0	3	0		LEVEL3	Aerosol	462	9.5	Ounce	274.3139322	Pounds	Retail Sales Floor
Schering-Plough Health Care Products, Inc.	Lotrimin AF Liquid Spray 2 Pack	0	4	0		LEVEL3	Aerosol	8	5.3	Ounce	2.76441752	Pounds	Retail Sales Floor
S.C. Johnson	Edge Advance Gel Refresh Your Shave Sensitive Skin With Aloe 4 Pack	0	3	0		LEVEL3	Aerosol	3808	9.5	Ounce	2261.011805	Pounds	Retail Sales Floor
S.C. Johnson	Skintimate Skin Therapy Moisturizing Shave Gel Lotionized Vitamin E Baby Soft Pack	0	3	0		LEVEL3	Aerosol	924	9.5	Ounce	548.6278644	Pounds	Retail Sales Floor
Calico Brands, Inc.	Hot Shot II Lighters 4 Pack	0	4	0		LEVEL3	Aerosol	2520	2	Ounce	393.7503528	Pounds	Retail Sales Floor
Permatex, Inc.	Fast Orange Pumice Lotion 15FO BO	2	1	0		SEN,CLIIIB	Liquid	192	128	Ounce	191.9991475	Gallons	Retail Sales Floor



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MEMORANDUM

TO: Jean Werbie-Harris
FROM: Shana Brummond, P.E., PTOE
DATE: September 2, 2014
SUBJECT: Costco Wholesale Development Traffic Study
Pleasant Prairie, Wisconsin

Introduction

Costco Wholesale is proposing a wholesale store to be located in the southeast quadrant of the 76th Street and 94th Avenue intersection. GRAEF has prepared this study to evaluate intersection traffic control options for the 76th Street intersections with 94th Avenue and 91st Avenue. The traffic study identifies the existing traffic volumes on the adjacent street system and the traffic expected to be generated by the proposed development. This technical memorandum documents the procedures, findings and recommendations of the traffic study.

Costco Wholesale Development

The site for the proposed development is generally bordered by 76th Street to the north, Prairie Ridge Boulevard to the south, 94th Avenue to the west and 91st Avenue to the east. A conceptual site plan for the Costco Wholesale development is shown on Exhibit 1. The development is proposing four access points for the site including one driveway on 76th Street, one driveway on 94th Avenue and two driveways on 91st Avenue. The southern driveway on 91st Avenue is planned to be the truck entrance.

Study Area

The study area includes the 76th Street intersections with 94th Avenue and 91st Avenue. The study area intersections currently operate under two-way stop control for the 76th Street approaches. The existing intersection geometrics are shown on Exhibit 2.

The study area roadways are described below:

76th Street is an east-west two-lane undivided roadway east of 94th Avenue that widens to a four-lane undivided roadway west of 94th Avenue. The posted speed limit along 76th Street is 25 miles per hour (mph) through the study area.

94th Avenue is a north-south three-lane divided roadway with a two-way left-turn lane (TWLTL) through the study area with a posted speed limit of 25 mph. 94th Avenue provides two southbound travel lanes for the section between 75th Street (STH 50) and 76th Street.

91st Avenue is a north-south two-lane undivided roadway through the study area with a posted speed limit of 25 mph.

Existing Traffic

In August of 2014, GRAEF conducted weekday morning, weekday evening and Saturday midday peak period traffic counts at the 76th Street intersections with 94th Avenue and 91st Avenue. The traffic counts are provided in Appendix 1. Based on the traffic counts, the weekday morning peak hour was identified to be 7:45 to 8:45 am, the weekday evening peak hour was identified to be 4:45 to 5:45 pm and the Saturday midday peak hour was identified to be 11:45am to 12:45pm.

Costco Wholesale Development Traffic

To address any potential future traffic impacts within the study area, it is necessary to identify the hourly volume of traffic generated by the proposed development. The expected traffic volumes generated by the development is based on the size and type of proposed land uses, and on trip data published in the Institute of Transportation Engineer's (ITE's) *Trip Generation Manual, 9th Edition (2012)*.

The Costco Wholesale development includes a wholesale store (153,962 square feet) and a gas station for club members (16 fueling positions). Based on information provided by Costco Wholesale, it can be expected that approximately 70 percent of the gas station trips will be linked to the wholesale store. A linked trip occurs when a motorist has more than one destination within the development site. Table 1 shows the trip generation for the proposed Costco Wholesale development.

Table 1
Costco Wholesale Development Trip Generation

Land Use	ITE Code	Proposed Size	Weekday Daily Trips	Weekday AM Peak Hour Trips			Weekday PM Peak Hour Trips			Saturday Midday Peak Hour Trips		
				In	Out	Total	In	Out	Total	In	Out	Total
Discount Club	857	153,962 SF	6,435	0	0	0	325	320	645	480	500	980
Gas Station (Club Members Only)	944/946	16 Fueling Positions	2,695	100	95	195	110	110	220	155	155	310
Total Trips			9,130	100	95	195	435	430	865	635	655	1,290
Linked Trips – Gas Station (70%)			(1,885)	(0)	(0)	(0)	(75)	(75)	(150)	(110)	(110)	(220)
Total Driveway Trips			7,245	100	95	195	360	355	715	525	545	1,070

As shown in Table 1, the proposed Costco Wholesale development gas station is expected to generate 195 total vehicle trips (100 entering vehicles/95 exiting vehicles) during the weekday morning peak hour.

During the weekday evening peak hour, the proposed Costco Wholesale development is expected to generate 865 total vehicle trips (435 entering vehicles/430 exiting vehicles). Of the 865 total vehicle trips, 150 trips are expected to be linked trips resulting in 715 new trips (360 entering vehicles/355 exiting vehicles).

During the Saturday midday peak hour, the proposed Costco Wholesale development is expected to generate 1,290 total vehicle trips (635 entering vehicles/655 exiting vehicles). Of the 1,290 total vehicle trips, 220 trips are expected to be linked trips resulting in 1,070 new trips (525 entering vehicles/545 exiting vehicles).

Trip Distribution & Assignment

The following directional distribution for the proposed development is based on the Costco Wholesale market analysis and the anticipated travel patterns of the adjacent roadway system:

- 58% to and from the east on 75th Street (STH 50)
- 25% to and from the west on 75th Street (STH 50)
- 17% to and from the south on 94th Avenue

The development trips were assigned to the study area intersections based on the above directional distribution. The new trips for Costco Wholesale development are shown on Exhibit 4. The Costco Wholesale development trips were added to the existing traffic volumes (Exhibit 3) to develop the Year 2015 total traffic volumes, as shown on Exhibit 5.

Traffic Operational Analysis

Level of Service Definition

The study area intersections were analyzed using procedures set forth in the *2010 Highway Capacity Manual* (HCM). For analysis and design purposes, Level of Service (LOS) 'D' was used to define acceptable peak hour operating conditions. Level of Service is a quantitative measure that refers to the overall quality of flow at an intersection ranging from very good, represented by LOS 'A', to very poor, represented by LOS 'F'. Descriptions of the various levels of service are presented below:

LOS A is the highest level of service that can be achieved. Under this condition, intersection approaches appear quite open, turning movements are easily made, and nearly all drivers find freedom of operation. At stop controlled intersections, average delays are less than 10 seconds.

LOS B represents stable operation. At stop controlled intersections, average delays are 10 to 15 seconds.

LOS C still represents stable operation, but periodic backups of a few vehicles may develop behind turning vehicles. Most drivers begin to feel restricted, but not objectionably so. At stop controlled intersections, average delays are 15 to 25 seconds.

LOS D represents increasing traffic restrictions as the intersection approaches instability. Delays to approaching vehicles may be substantial during short peaks within the peak period, but periodic clearance of long lines occurs, thus preventing excessive backups. At stop controlled intersections, average delays are 25 to 35 seconds.

LOS E represents the capacity of the intersection. At stop controlled intersections, average delays are 35 to 50 seconds.

LOS F represents jammed conditions where the intersection is over capacity and acceptable gaps for stop controlled intersections in the mainline traffic flow are minimal. At stop controlled intersections, average delays exceed 50 seconds.

Year 2015 Total (With Costco Wholesale Development) Traffic Analysis

The Year 2015 total traffic volumes include the Costco development and are shown on Exhibit 5. The Year 2015 total traffic conditions were evaluated for the following two intersection control options:

- All-way stop control
- Three-way stop control – allows southbound movements to be free flow

Three-way stop control intersections can be confusing to drivers and cause safety concerns. Three-way stop control would be considered if all-way stop control does not provide acceptable traffic operations or traffic queues extend to 75th Street (STH 50).

The following improvements are recommended for the Year 2015 total traffic conditions as illustrated on Exhibit 6:

76th Street & 94th Avenue Intersection:

- Install stop signs on the north and south approaches to operate under all-way stop control.
- Add signage and lane markings on the north approach to provide an exclusive right-turn lane and a shared through/left-turn lane.

76th Street & 91st Avenue Intersection:

- Install stop signs on the north and south approaches to operate under all-way stop control.

The Year 2015 total traffic peak hour operating conditions with the recommended improvements is summarized in Table 2.

Table 2
Year 2015 Total Traffic Peak Hour Traffic Operations
With Recommended Improvements

Intersection	Traffic Control	Peak Hour	Level of Service per Movement by Approach											
			Northbound			Southbound			Eastbound			Westbound		
			LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
76 th Street & 94 th Avenue	All-Way Stop	AM	B	B	B	B	B	A	B	A	A	A	A	A
		PM	C	C	C	B	B	A	B	A	A	B	B	B
		SAT	C	C	C	C	C	A	B	B	B	B	B	B
76 th Street & 91 st Avenue	All-Way Stop	AM	A	A	A	A	A	A	A	A	A	A	A	A
		PM	A	A	A	A	A	A	A	A	A	A	A	A
		PM	A	A	A	A	A	A	A	A	A	A	A	A

All movements at the study area intersections are expected to operate acceptably at LOS C or better conditions with the recommended improvements. As shown on Exhibit 6, the Year 2015 total traffic queues for the southbound lanes are expected to be a maximum of 100 feet for the 94th Avenue intersection and 50 feet for the 91st Avenue intersection. These traffic queues can be accommodated by the approximately 350 feet of storage per lane provided between 76th Street and 75th Street. The Year 2015 total traffic analysis with the recommended improvements is included in Appendix 2.

Conclusions

With the recommended improvements, the study area intersections are expected to operate acceptably with the Costco Wholesale development traffic. In the future, three-way stop control or a roundabout should be considered at the study area intersections if/when traffic queues extend to 75th Street (STH 50).



NORTH
NOT TO SCALE

PROJECT DATA

CLIENT: COSTCO WHOLESALE
988 LAKE DRIVE
ISSAQUAH, WA 98027

PROJECT ADDRESS: 84TH AVE & PRAIRIE RIDGE BOULEVARD
PLEASANT PRAIRIE, WI

SITE DATA:

TOTAL SITE AREA: 17.54 ACRES (764,166 SF)

JURISDICTION: VILLAGE OF PLEASANT PRAIRIE
ZONING: B-2 PUD
SETBACKS: ARTERIAL STREETS 65' REQUIRED

BOUNDARIES INFORMATION: THIS PLAN HAS BEEN PREPARED BY MULVANNY & ARCHITECTURE USING A CAD FILE FROM LOGIK ENGINEERING DATED MARCH 22, 2011

BUILDING DATA:

TOTAL BUILDING FOOTPRINT AREA: 153,962 SF

INCLUDES:
WAREHOUSE MAIN LEVEL: 148,505 SF
ENCLOSED CANOPY: 4,050 SF
PUMP ROOM: 387 SF

PARKING DATA:

10' WIDE STALLS: 576 STALLS
ACCESSIBLE STALLS: 17 STALLS

TOTAL PARKING: 593 STALLS
NUMBER OF STALLS PER 1000 SF OF BUILDING AREA: 4.50 STALLS

NOTES:
EXISTING CONDITIONS TO BE FIELD VERIFIED.



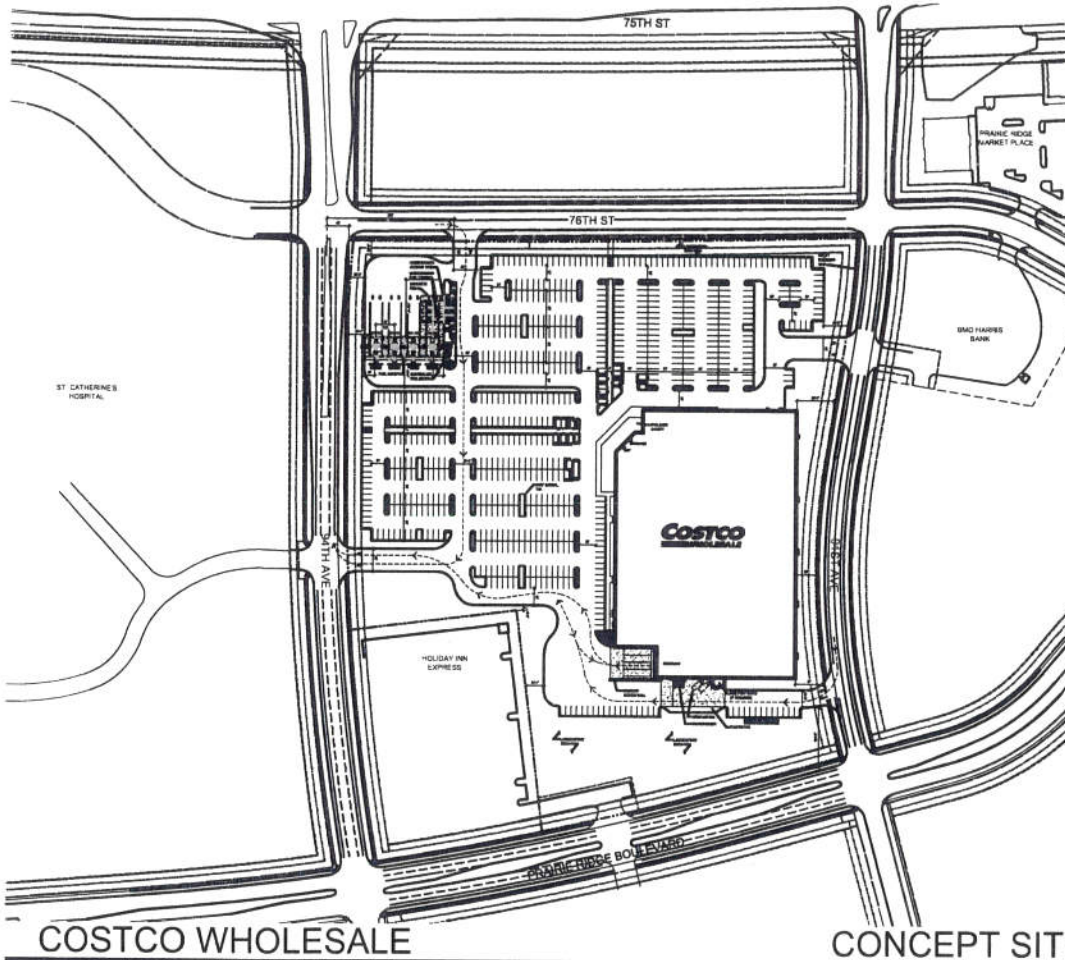
VICINITY MAP



REGIONAL MAP



14-0006-01
JUNE 18, 2014
CONCEPT
SITE PLAN
DD11-03

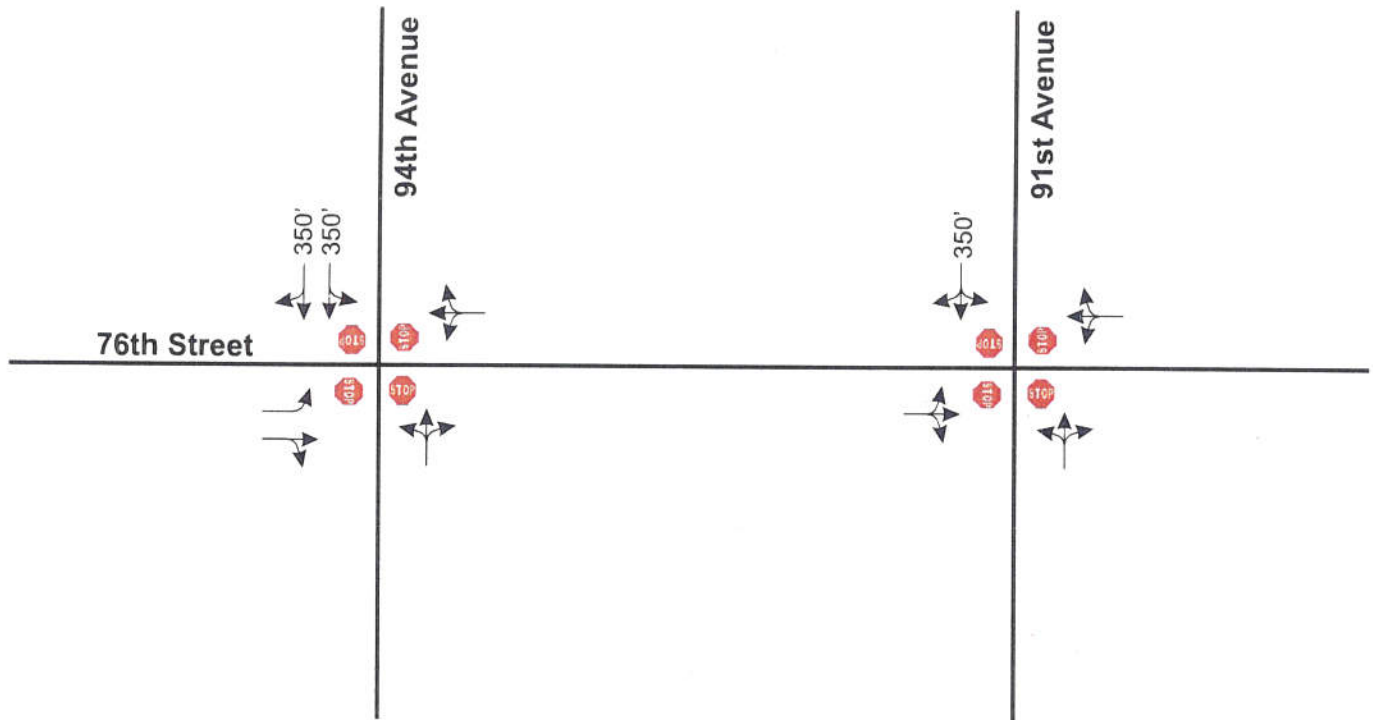


COSTCO WHOLESALE
PLEASANT PRAIRIE (KENOSHA), WISCONSIN



CONCEPT SITE PLAN

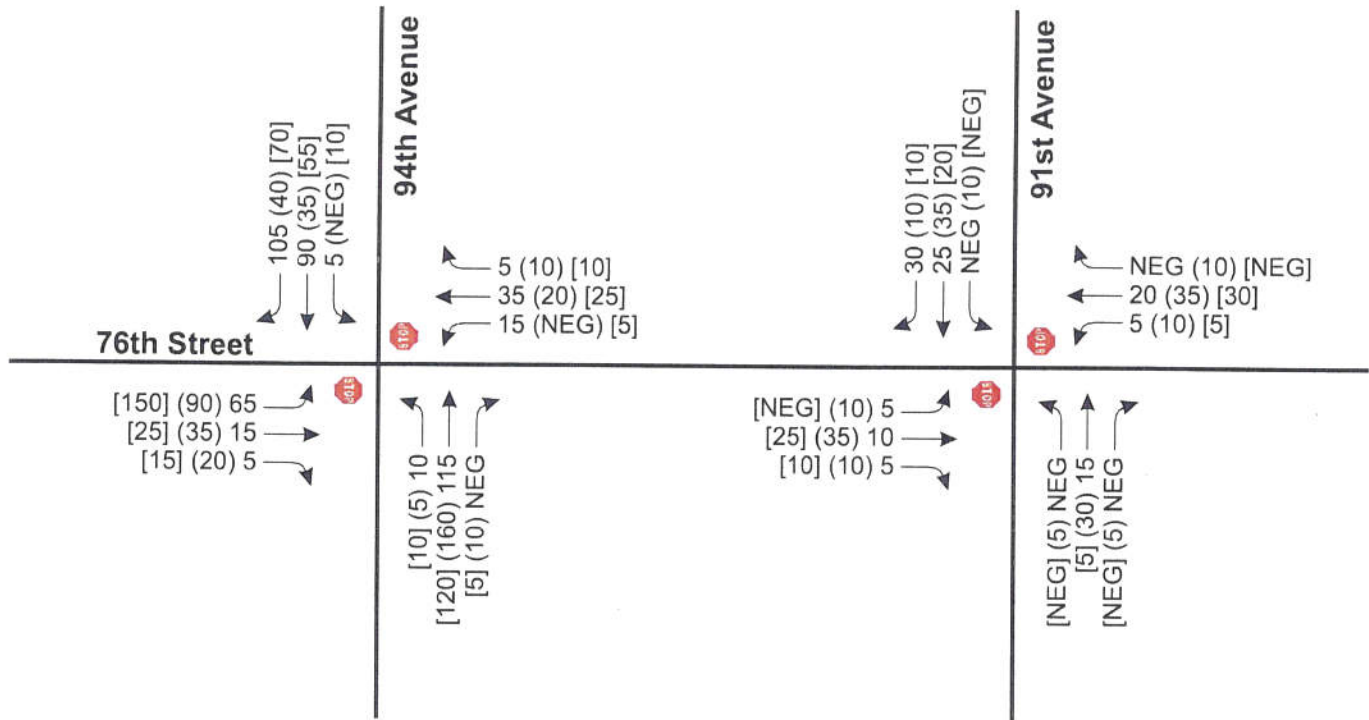
JUNE 18, 2014






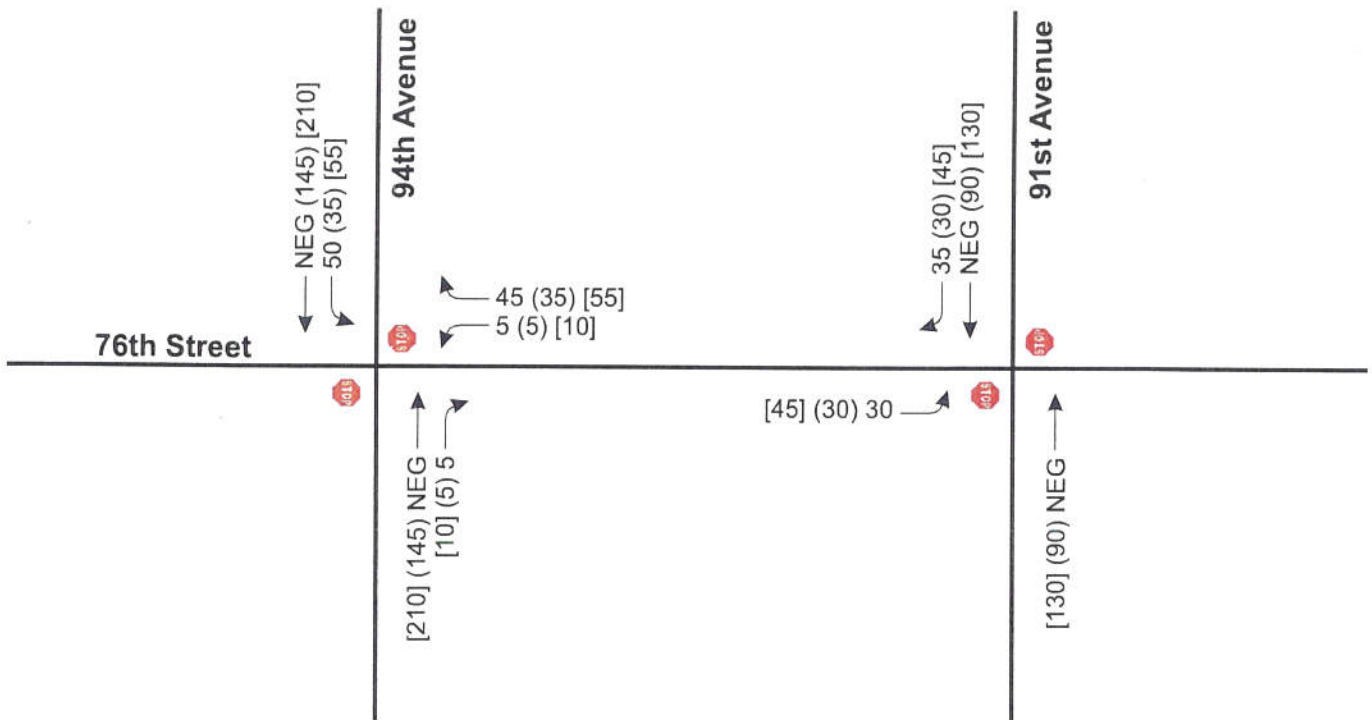
LEGEND


-  STOP SIGN
-  EXISTING LANE GEOMETRICS
- XXX' EXISTING STORAGE LENGTH (IN FEET)



LEGEND

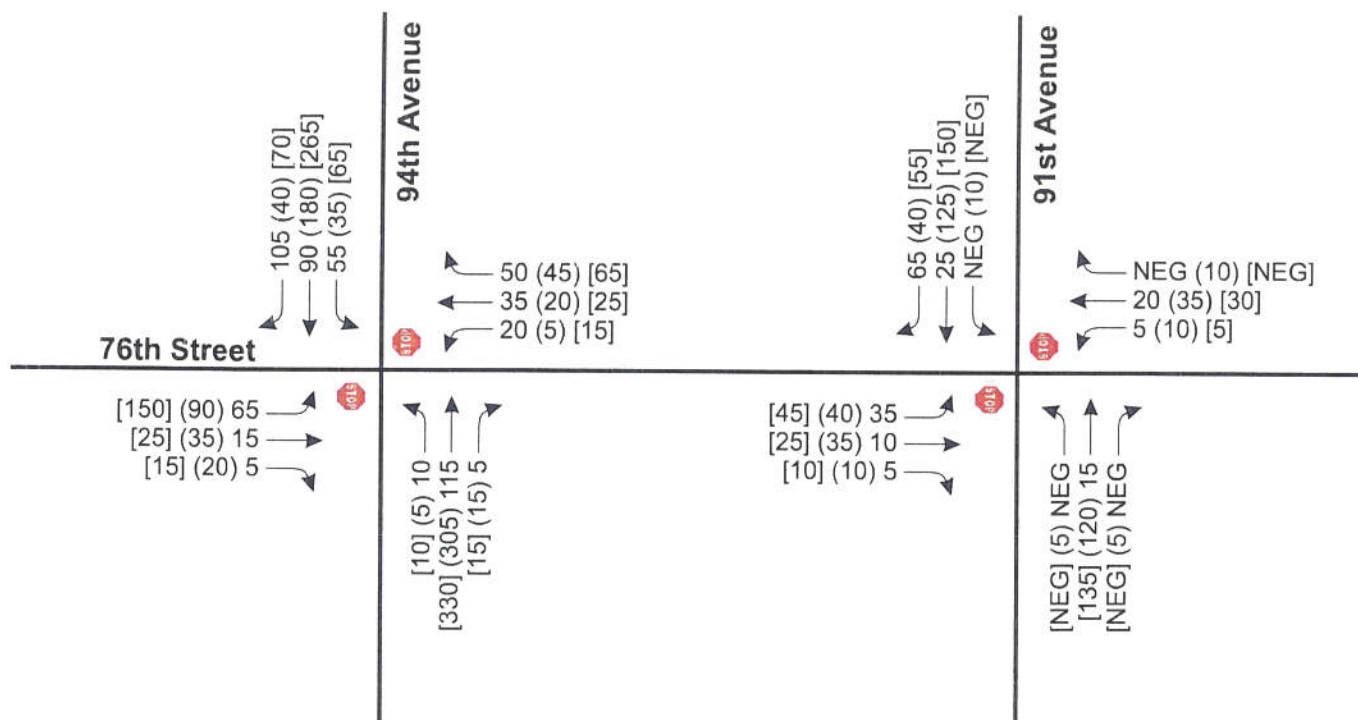
-  STOP SIGN
- XXX WEEKDAY AM PEAK HOUR (6:45 - 7:45 AM) TRAFFIC VOLUMES
- (XXX) WEEKDAY PM PEAK HOUR (4:45 - 5:45 PM) TRAFFIC VOLUMES
- [XXX] SATURDAY MIDDAY PEAK HOUR (11:45 AM - 12:45 PM) TRAFFIC VOLUMES
- NEG NEGLIGIBLE TRAFFIC VOLUMES - LESS THAN 5 VEHICLES PER HOUR




LEGEND	
	STOP SIGN
XXX	WEEKDAY AM PEAK HOUR (6:45 - 7:45 AM) TRAFFIC VOLUMES
(XXX)	WEEKDAY PM PEAK HOUR (4:45 - 5:45 PM) TRAFFIC VOLUMES
[XXX]	SATURDAY MIDDAY PEAK HOUR (11:45 AM - 12:45 PM) TRAFFIC VOLUMES
NEG	NEGLIGIBLE TRAFFIC VOLUMES - LESS THAN 5 VEHICLES PER HOUR



NORTH
NOT TO SCALE

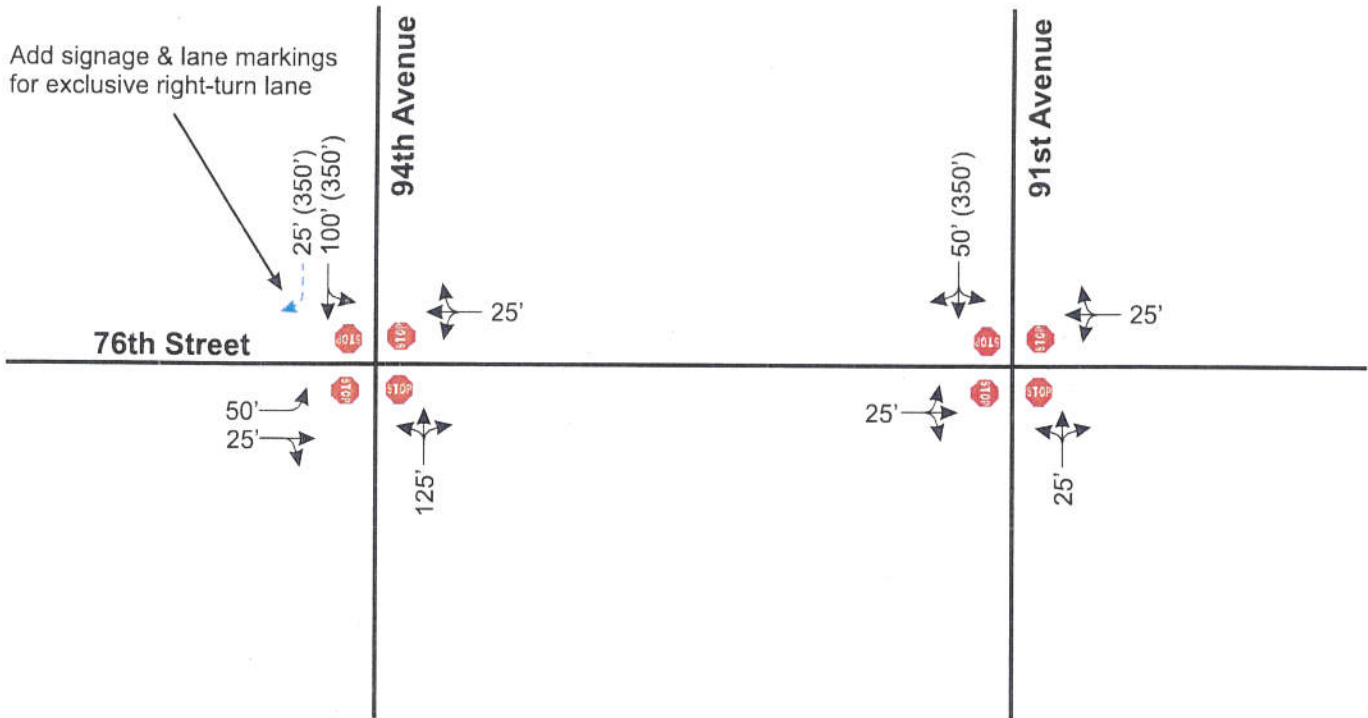


LEGEND




-  STOP SIGN
- XXX WEEKDAY AM PEAK HOUR (6:45 - 7:45 AM) TRAFFIC VOLUMES
- (XXX) WEEKDAY PM PEAK HOUR (4:45 - 5:45 PM) TRAFFIC VOLUMES
- [XXX] SATURDAY MIDDAY PEAK HOUR (11:45 AM - 12:45 PM) TRAFFIC VOLUMES
- NEG NEGLIGIBLE TRAFFIC VOLUMES - LESS THAN 5 VEHICLES PER HOUR



**EXHIBIT 5
YEAR 2015 TOTAL TRAFFIC VOLUMES
COSTCO WHOLESALE DEVELOPMENT
PLEASANT PRAIRIE, WISCONSIN**



LEGEND

-  STOP SIGN
-  EXISTING LANE GEOMETRICS
-  RECOMMENDED LANE GEOMETRICS
- XXX' MAXIMUM 95TH PERCENTILE TRAFFIC QUEUE PER LANE (IN FEET)
- (XXX') EXISTING STORAGE LENGTH (IN FEET)

Appendix 1

Intersection Traffic Counts

Appendix 2

**Year 2015 Total Traffic Analysis
With Recommended Improvements**



125 S. 84th Street, Suite 401
 Milwaukee, WI 53214-1470
 (414) 259-1500

76th Street & 94th Avenue
 Weekday AM Traffic Count
 Pleasant Prairie, WI
 2014-0079

File Name : 76th & 94th - AM
 Site Code : 00000000
 Start Date : 8/6/2014
 Page No : 1

Start Time	Groups Printed- Passenger Vehicle - Bus - Truck																						
	94th Avenue From North					76th Street From East					94th Avenue From South					76th Street From West					Exclu. Total	Inclu. Total	Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total			
06:00 AM	0	10	9	1	19	0	3	0	1	3	1	11	0	0	12	4	0	3	0	7	2	41	43
06:15 AM	0	25	10	0	35	2	4	0	1	6	0	11	0	0	11	10	0	1	0	11	1	63	64
06:30 AM	0	19	11	0	30	4	5	0	2	9	1	11	0	2	12	6	1	1	1	8	5	59	64
06:45 AM	1	42	30	0	73	19	4	3	0	26	1	20	0	1	21	6	1	0	0	7	1	127	128
Total	1	96	60	1	157	25	16	3	4	44	3	53	0	3	56	26	2	5	1	33	9	290	299
07:00 AM	0	20	14	0	34	5	3	1	1	9	6	24	0	0	30	10	0	2	1	12	2	85	87
07:15 AM	0	17	21	0	38	2	6	0	0	8	7	25	0	0	32	19	1	1	0	21	0	99	99
07:30 AM	0	26	12	0	38	2	5	0	0	7	6	25	0	0	31	15	1	3	2	19	2	95	97
07:45 AM	1	33	31	0	65	4	11	0	0	15	3	29	1	0	33	16	2	3	0	21	0	134	134
Total	1	96	78	0	175	13	25	1	1	39	22	103	1	0	126	60	4	9	3	73	4	413	417
08:00 AM	0	22	21	1	43	2	4	1	0	7	3	28	1	0	32	13	3	1	0	17	1	99	100
08:15 AM	1	21	25	0	47	2	11	1	0	14	1	27	0	0	28	17	3	0	0	20	0	109	109
08:30 AM	1	13	25	0	39	3	8	1	0	12	3	30	0	0	33	19	7	0	0	26	0	110	110
08:45 AM	1	11	21	0	33	1	11	1	0	13	2	24	1	0	27	15	3	5	0	23	0	96	96
Total	3	67	92	1	162	8	34	4	0	46	9	109	2	0	120	64	16	6	0	86	1	414	415
Grand Total	5	259	230	2	494	46	75	8	5	129	34	265	3	3	302	150	22	20	4	192	14	1117	1131
Apprch %	1	52.4	46.6			35.7	58.1	6.2			11.3	87.7	1			78.1	11.5	10.4					
Total %	0.4	23.2	20.6		44.2	4.1	6.7	0.7		11.5	3	23.7	0.3		27	13.4	2	1.8		17.2	1.2	98.8	
Passenger Vehicle	5	250	225		482	46	75	8		134	34	261	3		301	137	22	20		183	0	0	1100
% Passenger Vehicle	100	96.5	97.8	100	97.2	100	100	100	100	100	100	98.5	100	100	98.7	91.3	100	100	100	93.4	0	0	97.3
Bus	0	1	2		3	0	0	0		0	0	0	0		0	7	0	0		7	0	0	10
% Bus	0	0.4	0.9	0	0.6	0	0	0	0	0	0	0	0	0	0	4.7	0	0	0	3.6	0	0	0.9
Truck	0	8	3		11	0	0	0		0	0	4	0		4	6	0	0		6	0	0	21
% Truck	0	3.1	1.3	0	2.2	0	0	0	0	0	0	1.5	0	0	1.3	4	0	0	0	3.1	0	0	1.9



125 S. 84th Street, Suite 401
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76th Street & 94th Avenue
 Weekday AM Traffic Count
 Pleasant Prairie, WI
 2014-0079

File Name : 76th & 94th - AM
 Site Code : 00000000
 Start Date : 8/6/2014
 Page No : 1

Groups Printed- Bus - Truck

Start Time	94th Avenue From North					76th Street From East					94th Avenue From South					76th Street From West					Exclu. Total	Inclu. Total	Int. Total						
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total									
06:00 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1
06:15 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	2	2
06:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	1	1
06:45 AM	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1
Total	0	2	1	0	3	0	0	0	0	0	0	0	0	0	0	2	0	0	0	2	0	0	0	0	0	0	0	5	5
07:00 AM	0	1	2	0	3	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3	3
07:15 AM	0	2	0	0	2	0	0	0	0	0	0	1	0	0	1	3	0	0	0	3	0	0	0	0	0	0	0	6	6
07:30 AM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	2	0	0	0	2	0	0	0	0	0	0	0	3	3
07:45 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	2	2
Total	0	4	2	0	6	0	0	0	0	0	0	2	0	0	2	6	0	0	0	6	0	0	0	0	0	0	0	14	14
08:00 AM	0	2	1	0	3	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	4	4
08:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	0	0	2	0	0	0	0	0	0	0	2	2
08:30 AM	0	0	1	0	1	0	0	0	0	0	0	1	0	0	1	2	0	0	0	2	0	0	0	0	0	0	0	4	4
08:45 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	2	2
Total	0	3	2	0	5	0	0	0	0	0	0	2	0	0	2	5	0	0	0	5	0	0	0	0	0	0	0	12	12
Grand Total	0	9	5	0	14	0	0	0	0	0	0	4	0	0	4	13	0	0	0	13	0	0	0	0	0	0	0	31	31
Apprch %	0	64.3	35.7			0	0	0			0	100	0			100	0	0			0	0	0						
Total %	0	29	16.1		45.2	0	0	0		0	0	12.9	0		12.9	41.9	0	0		41.9	0	0	0		100	0	0		
Bus	0	1	2		3	0	0	0		0	0	0	0		0	7	0	0		7	0	0	0		0	0	0	10	
% Bus	0	11.1	40	0	21.4	0	0	0	0	0	0	0	0	0	0	53.8	0	0	0	53.8	0	0	0		0	0	0	32.3	
Truck	0	8	3		11	0	0	0		0	0	4	0		4	6	0	0		6	0	0	0		0	0	0	21	
% Truck	0	88.9	60	0	78.6	0	0	0	0	0	0	100	0	0	100	46.2	0	0	0	46.2	0	0	0		0	0	0	67.7	



125 S. 84th Street, Suite 401
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76th Street & 94th Avenue
 Weekday PM Traffic Count
 Pleasant Prairie, WI
 2014-0079

File Name : 76th & 94th - PM
 Site Code : 00000000
 Start Date : 8/6/2014
 Page No : 1

Start Time	Groups Printed- Passenger Vehicle - Bus - Truck																						
	94th Avenue From North					76th Street From East					94th Avenue From South					76th Street From West							
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Exclu. Total	Inclu. Total	Int. Total
03:00 PM	1	7	15	0	23	3	10	1	0	14	5	26	0	0	31	48	10	3	0	61	0	129	129
03:15 PM	2	24	15	0	41	2	9	0	0	11	2	31	0	0	33	41	9	2	0	52	0	137	137
03:30 PM	1	16	21	0	38	1	3	2	0	6	1	45	0	0	46	47	9	3	0	59	0	149	149
03:45 PM	0	10	10	0	20	0	6	3	0	9	5	20	0	0	25	25	4	3	0	32	0	86	86
Total	4	57	61	0	122	6	28	6	0	40	13	122	0	0	135	161	32	11	0	204	0	501	501
04:00 PM	1	6	13	0	20	0	2	0	0	2	4	39	2	0	45	31	11	4	0	46	0	113	113
04:15 PM	0	10	7	0	17	2	12	0	0	14	1	19	0	0	20	26	6	2	0	34	0	85	85
04:30 PM	2	9	11	1	22	0	2	0	0	2	2	32	0	0	34	35	7	2	0	44	1	102	103
04:45 PM	1	8	11	0	20	0	4	3	0	7	0	40	1	0	41	29	10	2	0	41	0	109	109
Total	4	33	42	1	79	2	20	3	0	25	7	130	3	0	140	121	34	10	0	165	1	409	410
05:00 PM	1	4	10	0	15	0	1	1	0	2	2	42	2	0	46	15	7	7	0	29	0	92	92
05:15 PM	0	11	8	0	19	0	6	1	0	7	2	37	2	0	41	27	9	3	0	39	0	106	106
05:30 PM	0	9	11	0	20	2	5	2	0	9	1	38	1	0	40	19	6	5	0	30	0	99	99
05:45 PM	0	17	20	0	37	2	8	0	0	10	6	35	2	0	43	20	8	2	0	30	0	120	120
Total	1	41	49	0	91	4	20	4	0	28	11	152	7	0	170	81	30	17	0	128	0	417	417
Grand Total	9	131	152	1	292	12	68	13	0	93	31	404	10	0	445	363	96	38	0	497	1	1327	1328
Apprch %	3.1	44.9	52.1			12.9	73.1	14			7	90.8	2.2			73	19.3	7.6					
Total %	0.7	9.9	11.5		22	0.9	5.1	1		7	2.3	30.4	0.8		33.5	27.4	7.2	2.9		37.5	0.1	99.9	
Passenger Vehicle	9	129	147		286	12	67	13		92	31	394	10		435	356	95	38		489	0	0	1302
% Passenger Vehicle	100	98.5	96.7	100	97.6	100	98.5	100	0	98.9	100	97.5	100	0	97.8	98.1	99	100	0	98.4	0	0	98
Bus	0	0	3		3	0	0	0		0	0	0	0		0	1	1	0		2	0	0	5
% Bus	0	0	2	0	1	0	0	0	0	0	0	0	0	0	0	0.3	1	0	0	0.4	0	0	0.4
Truck	0	2	2		4	0	1	0		1	0	10	0		10	6	0	0		6	0	0	21
% Truck	0	1.5	1.3	0	1.4	0	1.5	0	0	1.1	0	2.5	0	0	2.2	1.7	0	0	0	1.2	0	0	1.6



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 Site Code : 00000000
 Start Date : 8/6/2014
 Page No : 1

Groups Printed- Bus - Truck

Start Time	94th Avenue From North					76th Street From East					94th Avenue From South					76th Street From West					Exclu. Total	Inclu. Total	Int. Total						
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total									
03:00 PM	0	0	1	0	1	0	0	0	0	0	0	2	0	0	2	2	0	0	0	2	0	0	0	0	0	0	0	5	5
03:15 PM	0	1	1	0	2	0	1	0	0	1	0	1	0	0	1	1	0	0	0	1	0	0	0	0	0	0	0	5	5
03:30 PM	0	0	0	0	0	0	0	0	0	0	0	3	0	0	3	1	0	0	0	1	0	0	0	0	0	0	0	4	4
03:45 PM	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1
Total	0	1	3	0	4	0	1	0	0	1	0	6	0	0	6	4	0	0	0	4	0	0	0	0	0	0	0	15	15
04:00 PM	0	1	1	0	2	0	0	0	0	0	0	0	0	0	0	1	1	0	0	2	0	0	0	0	0	0	0	4	4
04:15 PM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	1	0	0	0	1	0	0	0	0	0	0	0	2	2
04:30 PM	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	2	2
04:45 PM	0	0	1	0	1	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	2	2
Total	0	1	2	0	3	0	0	0	0	0	0	4	0	0	4	2	1	0	0	3	0	0	0	0	0	0	0	10	10
05:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	1	1
05:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	1	1
Grand Total	0	2	5	0	7	0	1	0	0	1	0	10	0	0	10	7	1	0	0	8	0	0	0	0	0	0	0	26	26
Apprch %	0	28.6	71.4			0	100	0			0	100	0			87.5	12.5	0											
Total %	0	7.7	19.2		26.9	0	3.8	0		3.8	0	38.5	0		38.5	26.9	3.8	0		30.8	0	0	0	0	0	0	0	100	
Bus	0	0	3		3	0	0	0		0	0	0	0		0	1	1	0		2	0	0	0	0	0	0	0	0	5
% Bus	0	0	60		42.9	0	0	0		0	0	0	0		0	14.3	100	0		25	0	0	0	0	0	0	0	0	19.2
Truck	0	2	2		4	0	1	0		1	0	10	0		10	6	0	0		6	0	0	0	0	0	0	0	0	21
% Truck	0	100	40		57.1	0	100	0		100	0	100	0		100	85.7	0	0		75	0	0	0	0	0	0	0	0	80.8



125 S. 84th Street, Suite 401
 Milwaukee, WI 53214-1470
 (414) 259-1500

76th Street & 94th Avenue
 Saturday Midday Traffic Count
 Pleasant Prairie, WI
 2014-0079

File Name : 76th & 94th - SAT
 Site Code : 00000000
 Start Date : 8/9/2014
 Page No : 1

Start Time	Groups Printed- Passenger Vehicle - Bus - Truck																				Exclu. Total	Inclu. Total	Int. Total					
	94th Avenue From North					76th Street From East					94th Avenue From South					76th Street From West												
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total								
10:00 AM	1	13	28	0	42	0	6	0	0	6	6	23	1	1	30	20	7	2	0	29	0	0	0	0	0	1	107	108
10:15 AM	5	11	10	1	26	3	11	2	0	16	1	27	1	0	29	36	6	6	0	48	1	119	120					
10:30 AM	2	10	25	0	37	0	7	1	0	8	2	25	2	0	29	31	5	1	0	37	0	111	111					
10:45 AM	2	13	19	0	34	3	8	1	0	12	1	27	1	0	29	32	7	3	1	42	1	117	118					
Total	10	47	82	1	139	6	32	4	0	42	10	102	5	1	117	119	25	12	1	156	3	454	457					
11:00 AM	1	14	18	0	33	1	10	2	0	13	3	27	4	0	34	31	8	5	0	44	0	124	124					
11:15 AM	1	11	15	0	27	2	5	1	0	8	2	30	1	0	33	30	10	4	0	44	0	112	112					
11:30 AM	2	12	17	0	31	0	13	2	0	15	1	33	1	0	35	29	3	1	0	33	0	114	114					
11:45 AM	2	15	16	0	33	1	6	2	0	9	1	30	1	0	32	35	8	3	0	46	0	120	120					
Total	6	52	66	0	124	4	34	7	0	45	7	120	7	0	134	125	29	13	0	167	0	470	470					
12:00 PM	3	13	20	0	36	3	4	3	1	10	1	26	0	0	27	45	3	2	1	50	2	123	125					
12:15 PM	2	8	19	0	29	1	8	2	0	11	3	33	2	0	38	32	7	5	0	44	0	122	122					
12:30 PM	0	17	12	0	29	0	7	3	0	10	3	31	0	0	34	38	3	1	0	42	0	115	115					
12:45 PM	3	11	11	0	25	2	10	2	0	14	5	29	3	0	37	31	7	5	2	43	2	119	121					
Total	8	49	62	0	119	6	29	10	1	45	12	119	5	0	136	146	20	13	3	179	4	479	483					
01:00 PM	1	19	26	0	46	1	17	1	0	19	0	23	0	1	23	24	6	4	0	34	1	122	123					
01:15 PM	0	12	14	0	26	1	8	0	0	9	3	20	2	0	25	34	7	2	0	43	0	103	103					
01:30 PM	0	12	13	0	25	1	9	3	0	13	2	25	0	0	27	37	9	1	0	47	0	112	112					
01:45 PM	0	17	16	0	33	2	13	0	0	15	0	17	0	2	17	27	8	2	0	37	2	102	104					
Total	1	60	69	0	130	5	47	4	0	56	5	85	2	3	92	122	30	9	0	161	3	439	442					
Grand Total	25	208	279	1	512	21	142	25	1	188	34	426	19	4	479	512	104	47	4	663	10	1842	1852					
Apprch %	4.9	40.6	54.5			11.2	75.5	13.3			7.1	88.9	4			77.2	15.7	7.1										
Total %	1.4	11.3	15.1		27.8	1.1	7.7	1.4		10.2	1.8	23.1	1		26	27.8	5.6	2.6		36	0.5	99.5						
Passenger Vehicle	25	206	272		504	21	142	25		189	34	424	19		481	504	103	46		657	0	0	1831					
% Passenger Vehicle	100	99	97.5	100	98.2	100	100	100	100	100	100	99.5	100	100	99.6	98.4	99	97.9	100	98.5	0	0	98.9					
Bus	0	1	6		7	0	0	0		0	0	0	0		0	6	0	1		7	0	0	14					
% Bus	0	0.5	2.2	0	1.4	0	0	0	0	0	0	0	0	0	0	1.2	0	2.1	0	1	0	0	0.8					
Truck	0	1	1		2	0	0	0		0	0	2	0		2	2	1	0		3	0	0	7					
% Truck	0	0.5	0.4	0	0.4	0	0	0	0	0	0	0.5	0	0	0.4	0.4	1	0	0	0.4	0	0	0.4					



125 S. 84th Street, Suite 401
 Milwaukee, WI 53214-1470
 (414) 259-1500

76th Street & 94th Avenue
 Saturday Midday Traffic Count
 Pleasant Prairie, WI
 2014-0079

File Name : 76th & 94th - SAT
 Site Code : 00000000
 Start Date : 8/9/2014
 Page No : 1

Groups Printed- Bus - Truck

Start Time	94th Avenue From North					76th Street From East					94th Avenue From South					76th Street From West					Exclu. Total	Inclu. Total	Int. Total						
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total									
10:00 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1
10:15 AM	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1
10:30 AM	0	0	3	0	3	0	0	0	0	0	0	0	0	0	0	3	1	0	0	4	0	0	0	0	0	0	0	7	7
10:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	1	0	3	0	0	0	0	0	0	0	3	3
Total	0	1	4	0	5	0	0	0	0	0	0	0	0	0	0	5	1	1	0	7	0	0	0	0	0	0	0	12	12
11:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:30 AM	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	2	2
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	2	2
12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:30 PM	0	0	1	0	1	0	0	0	0	0	0	1	0	0	1	1	0	0	0	1	0	0	0	0	0	0	0	3	3
12:45 PM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	1	1
Total	0	0	1	0	1	0	0	0	0	0	0	2	0	0	2	1	0	0	0	1	0	0	0	0	0	0	0	4	4
01:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:15 PM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1
01:30 PM	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	2	2
01:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	1	1	0	2	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	3	3
Grand Total	0	2	7	0	9	0	0	0	0	0	0	2	0	0	2	8	1	1	0	10	0	0	0	0	0	0	0	21	21
Apprch %	0	22.2	77.8			0	0	0			0	100	0			80	10	10			0	0	0	0	0	0	0		
Total %	0	9.5	33.3		42.9	0	0	0			0	9.5	0		9.5	38.1	4.8	4.8		47.6	0	0	0	0	0	0	0	100	
Bus	0	1	6		7	0	0	0			0	0	0		0	6	0	1		7	0	0	0	0	0	0	0		14
% Bus	0	50	85.7	0	77.8	0	0	0	0	0	0	0	0	0	0	75	0	100	0	70	0	0	0	0	0	0	0		66.7
Truck	0	1	1		2	0	0	0			0	2	0		2	2	1	0		3	0	0	0	0	0	0	0		7
% Truck	0	50	14.3	0	22.2	0	0	0	0	0	0	100	0	0	100	25	100	0	0	30	0	0	0	0	0	0	0		33.3



125 S. 84th Street, Suite 401
 Milwaukee, WI 53214-1470
 (414) 259-1500

76th Street & 91st Avenue
 Weekday AM Traffic Count
 Pleasant Prairie, WI
 2014-0079

File Name : 76th & 91st - AM
 Site Code : 00000000
 Start Date : 8/6/2014
 Page No : 1

Groups Printed- Bus - Truck

Start Time	91st Avenue From North					76th Street From East					91st Avenue From South					76th Street From West					Exclu. Total	Inclu. Total	Int. Total					
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total								
06:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
08:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
08:15 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
08:30 AM	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1
08:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2
Grand Total	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2
Apprch %	0	100	0			0	0	0			0	0	0			0	0	0			0	0	0					
Total %	0	100	0		100	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	0	100	
Bus	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0
% Bus	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0
Truck	0	2	0		2	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	2
% Truck	0	100	0		100	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	100



125 S. 84th Street, Suite 401
 Milwaukee, WI 53214-1470
 (414) 259-1500

76th Street & 91st Avenue
 Weekday PM Traffic Count
 Pleasant Prairie, WI
 2014-0079

File Name : 76th & 91st - PM
 Site Code : 00000000
 Start Date : 8/6/2014
 Page No : 1

Start Time	91st Avenue From North				76th Street From East				91st Avenue From South				76th Street From West				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
03:00 PM	2	5	6	13	0	8	2	10	1	1	0	2	2	7	0	9	34
03:15 PM	1	5	4	10	2	8	2	12	0	1	0	1	3	5	2	10	33
03:30 PM	4	3	2	9	0	4	1	5	1	5	0	6	4	8	0	12	32
03:45 PM	1	3	4	8	1	7	0	8	0	4	0	4	2	2	0	4	24
Total	8	16	16	40	3	27	5	35	2	11	0	13	11	22	2	35	123
04:00 PM	0	7	0	7	1	2	0	3	1	4	0	5	3	9	2	14	29
04:15 PM	4	4	5	13	2	10	4	16	1	1	2	4	2	5	3	10	43
04:30 PM	4	7	1	12	2	5	2	9	1	7	0	8	3	6	2	11	40
04:45 PM	1	10	2	13	3	11	2	16	2	4	2	8	0	9	2	11	48
Total	9	28	8	45	8	28	8	44	5	16	4	25	8	29	9	46	160
05:00 PM	3	11	1	15	2	6	0	8	0	11	1	12	2	5	2	9	44
05:15 PM	3	7	5	15	2	6	1	9	0	6	1	7	2	10	2	14	45
05:30 PM	2	5	2	9	0	10	3	13	1	6	0	7	2	10	2	14	43
05:45 PM	2	7	2	11	1	5	0	6	2	8	0	10	0	10	1	11	38
Total	10	30	10	50	5	27	4	36	3	31	2	36	6	35	7	48	170
Grand Total	27	74	34	135	16	82	17	115	10	58	6	74	25	86	18	129	453
Apprch %	20	54.8	25.2		13.9	71.3	14.8		13.5	78.4	8.1		19.4	66.7	14		
Total %	6	16.3	7.5	29.8	3.5	18.1	3.8	25.4	2.2	12.8	1.3	16.3	5.5	19	4	28.5	
Passenger Vehicle	27	72	34	133	16	82	17	115	10	57	6	73	25	86	18	129	450
% Passenger Vehicle	100	97.3	100	98.5	100	100	100	100	100	98.3	100	98.6	100	100	100	100	99.3
Bus	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Bus	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Truck	0	2	0	2	0	0	0	0	0	1	0	1	0	0	0	0	3
% Truck	0	2.7	0	1.5	0	0	0	0	0	1.7	0	1.4	0	0	0	0	0.7



125 S. 84th Street, Suite 401
 Milwaukee, WI 53214-1470
 (414) 259-1500

76th Street & 91st Avenue
 Weekday PM Traffic Count
 Pleasant Prairie, WI
 2014-0079

File Name : 76th & 91st - PM
 Site Code : 00000000
 Start Date : 8/6/2014
 Page No : 1

Groups Printed- Bus - Truck

Start Time	91st Avenue From North				76th Street From East				91st Avenue From South				76th Street From West				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
03:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
03:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:00 PM	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	1
04:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0
05:00 PM	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	1
05:15 PM	0	0	0	0	0	0	0	0	0	1	0	1	0	0	0	0	1
05:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
05:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	1	0	1	0	0	0	0	0	1	0	1	0	0	0	0	0
Grand Total	0	2	0	2	0	0	0	0	0	1	0	1	0	0	0	0	3
Apprch %	0	100	0		0	0	0		0	100	0		0	0	0		
Total %	0	66.7	0	66.7	0	0	0	0	0	33.3	0	33.3	0	0	0	0	
Bus	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Bus	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Truck	0	2	0	2	0	0	0	0	0	1	0	1	0	0	0	0	3
% Truck	0	100	0	100	0	0	0	0	0	100	0	100	0	0	0	0	100



125 S. 84th Street, Suite 401
 Milwaukee, WI 53214-1470
 (414) 259-1500

76th Street & 91st Avenue
 Saturday Midday Traffic Count
 Pleasant Prairie, WI
 2014-0079

File Name : 76th & 91st - SAT
 Site Code : 00000000
 Start Date : 8/2/2014
 Page No : 1

Start Time	Groups Printed- Passenger Vehicle - Bus - Truck																											
	91st Avenue From North					76th Street From East					91st Avenue From South					76th Street From West					Exclu. Total	Inclu. Total	Int. Total					
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total								
10:00 AM	0	7	3	0	10	1	13	1	0	15	1	1	0	0	2	1	6	2	0	9	0	0	0	0	0	0	36	36
10:15 AM	1	4	3	0	8	0	9	1	0	10	2	0	0	0	2	0	10	3	0	13	0	0	0	0	0	0	33	33
10:30 AM	0	6	3	0	9	0	6	1	0	7	0	1	0	0	1	0	5	2	0	7	0	0	0	0	0	0	24	24
10:45 AM	3	4	2	0	9	0	2	0	0	2	1	1	0	0	2	2	8	2	0	12	0	0	0	0	0	0	25	25
Total	4	21	11	0	36	1	30	3	0	34	4	3	0	0	7	3	29	9	0	41	0	0	0	0	0	0	118	118
11:00 AM	0	5	3	0	8	2	8	2	0	12	0	1	2	0	3	0	4	1	0	5	0	0	0	0	0	0	28	28
11:15 AM	2	4	3	0	9	2	7	1	0	10	1	2	0	0	3	1	6	2	0	9	0	0	0	0	0	0	31	31
11:30 AM	2	3	2	0	7	1	6	3	0	10	2	0	1	0	3	0	2	5	0	7	0	0	0	0	0	0	27	27
11:45 AM	0	4	4	0	8	1	9	0	0	10	0	1	0	0	1	0	6	3	0	9	0	0	0	0	0	0	28	28
Total	4	16	12	0	32	6	30	6	0	42	3	4	3	0	10	1	18	11	0	30	0	0	0	0	0	0	114	114
12:00 PM	0	5	0	0	5	0	6	0	0	6	0	1	0	0	1	1	5	2	0	8	0	0	0	0	0	0	20	20
12:15 PM	1	6	2	0	9	1	8	0	0	9	1	0	0	0	1	0	8	0	0	8	0	0	0	0	0	0	27	27
12:30 PM	1	4	2	0	7	1	3	0	0	4	1	2	1	0	4	1	4	1	0	6	0	0	0	0	0	0	21	21
12:45 PM	0	4	0	0	4	0	4	3	0	7	0	3	0	0	3	0	5	0	0	5	0	0	0	0	0	0	19	19
Total	2	19	4	0	25	2	21	3	0	26	2	6	1	0	9	2	22	3	0	27	0	0	0	0	0	0	87	87
01:00 PM	2	2	0	0	4	1	8	0	0	9	0	1	0	0	1	1	6	1	0	8	0	0	0	0	0	0	22	22
01:15 PM	0	3	3	0	6	0	11	3	0	14	0	1	0	0	1	1	12	1	0	14	0	0	0	0	0	0	35	35
01:30 PM	4	4	1	0	9	0	9	0	0	9	0	1	0	0	1	3	12	2	0	17	0	0	0	0	0	0	36	36
01:45 PM	2	5	0	0	7	1	6	5	0	12	1	2	0	0	3	0	6	1	0	7	0	0	0	0	0	0	29	29
Total	8	14	4	0	26	2	34	8	0	44	1	5	0	0	6	5	36	5	0	46	0	0	0	0	0	0	122	122
Grand Total	18	70	31	0	119	11	115	20	0	146	10	18	4	0	32	11	105	28	0	144	0	0	0	0	0	0	441	441
Apprch %	15.1	58.8	26.1			7.5	78.8	13.7			31.2	56.2	12.5			7.6	72.9	19.4										
Total %	4.1	15.9	7		27	2.5	26.1	4.5		33.1	2.3	4.1	0.9		7.3	2.5	23.8	6.3		32.7	0	0	0	0	0	0	100	
Passenger Vehicle	18	70	31		119	11	113	20		144	10	18	4		32	11	103	28		142	0	0	0	0	0	0	437	
% Passenger Vehicle	100	100	100	0	100	100	98.3	100	0	98.6	100	100	100	0	100	100	98.1	100	0	98.6	0	0	0	0	0	0	0	99.1
Bus	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0	0	0	0	0	0
% Bus	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Truck	0	0	0		0	0	2	0		2	0	0	0		0	0	2	0		2	0	0	0	0	0	0	0	4
% Truck	0	0	0	0	0	0	1.7	0	0	1.4	0	0	0	0	0	0	1.9	0	0	1.4	0	0	0	0	0	0	0	0.9



125 S. 84th Street, Suite 401
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76th Street & 91st Avenue
 Saturday Midday Traffic Count
 Pleasant Prairie, WI
 2014-0079

File Name : 76th & 91st - SAT
 Site Code : 00000000
 Start Date : 8/2/2014
 Page No : 1

Start Time	91st Avenue From North					76th Street From East					91st Avenue From South					76th Street From West					Exclu. Total	Inclu. Total	Int. Total		
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total					
10:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
01:00 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1
01:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	1	1	1
01:30 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1	0	0	0	1	0	2	2	2
01:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	2	0	0	0	2	0	4	4	4
Grand Total	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	2	0	0	0	2	0	4	4	4
Apprch %	0	0	0	0	0	0	100	0	0	0	0	0	0	0	0	0	100	0	0	0	0	0	4	4	4
Total %	0	0	0	0	0	0	50	0	0	50	0	0	0	0	0	0	50	0	0	0	50	0	100	0	0
Bus	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Bus	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Truck	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	2	0	0	0	2	0	0	0	4
% Truck	0	0	0	0	0	0	100	0	0	100	0	0	0	0	0	0	100	0	0	0	100	0	0	100	100

Year 2015 Total Weekday AM Peak Hour Traffic Analysis With Recommended Improvements
 2: 94th Avenue & 76th Street

HCM 2010 AWSC

Intersection	
Intersection Delay, s/veh	9.8
Intersection LOS	A

Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Vol, veh/h	0	65	15	5	0	20	35	50	0	10	115	5
Peak Hour Factor	0.92	0.84	0.84	0.84	0.92	0.84	0.84	0.84	0.92	0.84	0.84	0.84
Heavy Vehicles, %	2	6	6	6	2	2	2	2	2	2	2	2
Mvmt Flow	0	77	18	6	0	24	42	60	0	12	137	6
Number of Lanes	0	1	1	0	0	0	1	0	0	0	1	0

Approach	EB	WB	NB
Opposing Approach	WB	EB	SB
Opposing Lanes	1	2	2
Conflicting Approach Left	SB	NB	EB
Conflicting Lanes Left	2	1	2
Conflicting Approach Right	NB	SB	WB
Conflicting Lanes Right	1	2	1
HCM Control Delay	9.8	10	10.4
HCM LOS	A	A	B

Lane	NBLn1	EBLn1	EBLn2	WBLn1	SBLn1	SBLn2
Vol Left, %	8%	100%	0%	19%	38%	0%
Vol Thru, %	88%	0%	75%	33%	62%	0%
Vol Right, %	4%	0%	25%	48%	0%	100%
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop
Traffic Vol by Lane	130	65	20	105	145	105
LT Vol	115	0	15	35	90	0
Through Vol	5	0	5	50	0	105
RT Vol	10	65	0	20	55	0
Lane Flow Rate	155	77	24	125	173	125
Geometry Grp	6	7	7	6	7	7
Degree of Util (X)	0.238	0.137	0.038	0.193	0.266	0.162
Departure Headway (Hd)	5.53	6.388	5.705	5.559	5.555	4.659
Convergence, Y/N	Yes	Yes	Yes	Yes	Yes	Yes
Cap	644	556	621	640	642	764
Service Time	3.609	4.182	3.499	3.647	3.324	2.427
HCM Lane V/C Ratio	0.241	0.138	0.039	0.195	0.269	0.164
HCM Control Delay	10.4	10.2	8.7	10	10.3	8.3
HCM Lane LOS	B	B	A	A	B	A
HCM 95th-tile Q	0.9	0.5	0.1	0.7	1.1	0.6

GRAEF

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Year 2015 Total Weekday AM Peak Hour Traffic Analysis With Recommended Improvements
 2: 94th Avenue & 76th Street

HCM 2010 AWSC

Intersection

Intersection Delay, s/veh

Intersection LOS

Movement	SBU	SBL	SBT	SBR
Vol, veh/h	0	55	90	105
Peak Hour Factor	0.92	0.84	0.84	0.84
Heavy Vehicles, %	2	3	3	3
Mvmt Flow	0	65	107	125
Number of Lanes	0	0	1	1

Approach

SB

Opposing Approach	NB
Opposing Lanes	1
Conflicting Approach Left	WB
Conflicting Lanes Left	1
Conflicting Approach Right	EB
Conflicting Lanes Right	2
HCM Control Delay	9.5
HCM LOS	A

Lane

Year 2015 Total Weekday AM Peak Hour Traffic Analysis With Recommended Improvements
 3: 91st Avenue & 76th Street

HCM 2010 AWSC

Intersection

Intersection Delay, s/veh	7.5
Intersection LOS	A

Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Vol, veh/h	0	35	10	5	0	5	20	5	0	5	15	5
Peak Hour Factor	0.92	0.80	0.80	0.80	0.92	0.80	0.80	0.80	0.92	0.80	0.80	0.80
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	44	12	6	0	6	25	6	0	6	19	6
Number of Lanes	0	0	1	0	0	0	1	0	0	0	1	0

Approach

Approach	EB	WB	NB
Opposing Approach	WB	EB	SB
Opposing Lanes	1	1	1
Conflicting Approach Left	SB	NB	EB
Conflicting Lanes Left	1	1	1
Conflicting Approach Right	NB	SB	WB
Conflicting Lanes Right	1	1	1
HCM Control Delay	7.7	7.4	7.4
HCM LOS	A	A	A

Lane

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	20%	70%	17%	5%
Vol Thru, %	60%	20%	67%	26%
Vol Right, %	20%	10%	17%	68%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	25	50	30	95
LT Vol	15	10	20	25
Through Vol	5	5	5	65
RT Vol	5	35	5	5
Lane Flow Rate	31	62	38	119
Geometry Grp	1	1	1	1
Degree of Util (X)	0.036	0.075	0.044	0.124
Departure Headway (Hd)	4.12	4.304	4.178	3.765
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	859	826	848	942
Service Time	2.195	2.365	2.246	1.83
HCM Lane V/C Ratio	0.036	0.075	0.045	0.126
HCM Control Delay	7.4	7.7	7.4	7.4
HCM Lane LOS	A	A	A	A
HCM 95th-tile Q	0.1	0.2	0.1	0.4

GRAEF

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Year 2015 Total Weekday AM Peak Hour Traffic Analysis With Recommended Improvements
 3: 91st Avenue & 76th Street

HCM 2010 AWSC

Intersection

Intersection Delay, s/veh

Intersection LOS

Movement	SBU	SBL	SBT	SBR
Vol, veh/h	0	5	25	65
Peak Hour Factor	0.92	0.80	0.80	0.80
Heavy Vehicles, %	2	4	4	4
Mvmt Flow	0	6	31	81
Number of Lanes	0	0	1	0

Approach

SB

Opposing Approach	NB
Opposing Lanes	1
Conflicting Approach Left	WB
Conflicting Lanes Left	1
Conflicting Approach Right	EB
Conflicting Lanes Right	1
HCM Control Delay	7.4
HCM LOS	A

Lane

Year 2015 Total Weekday PM Peak Hour Traffic Analysis With Recommended Improvements
 2: 94th Avenue & 76th Street HCM 2010 AWSC

Intersection												
Intersection Delay, s/veh	12.8											
Intersection LOS	B											
Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Vol, veh/h	0	90	35	20	0	5	20	45	0	5	305	15
Peak Hour Factor	0.92	0.93	0.93	0.93	0.92	0.93	0.93	0.93	0.92	0.93	0.93	0.93
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	97	38	22	0	5	22	48	0	5	328	16
Number of Lanes	0	1	1	0	0	0	1	0	0	0	1	0

Approach	EB	WB	NB
Opposing Approach	WB	EB	SB
Opposing Lanes	1	2	2
Conflicting Approach Left	SB	NB	EB
Conflicting Lanes Left	2	1	2
Conflicting Approach Right	NB	SB	WB
Conflicting Lanes Right	1	2	1
HCM Control Delay	10.6	10.2	15.4
HCM LOS	B	B	C

Lane	NBLn1	EBLn1	EBLn2	WBLn1	SBLn1	SBLn2
Vol Left, %	2%	100%	0%	7%	16%	0%
Vol Thru, %	94%	0%	64%	29%	84%	0%
Vol Right, %	5%	0%	36%	64%	0%	100%
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop
Traffic Vol by Lane	325	90	55	70	215	40
LT Vol	305	0	35	20	180	0
Through Vol	15	0	20	45	0	40
RT Vol	5	90	0	5	35	0
Lane Flow Rate	349	97	59	75	231	43
Geometry Grp	6	7	7	6	7	7
Degree of Util (X)	0.55	0.186	0.101	0.13	0.373	0.06
Departure Headway (Hd)	5.667	6.904	6.138	6.241	5.811	5.021
Convergence, Y/N	Yes	Yes	Yes	Yes	Yes	Yes
Cap	636	520	584	574	620	714
Service Time	3.694	4.642	3.875	4.286	3.542	2.751
HCM Lane V/C Ratio	0.549	0.187	0.101	0.131	0.373	0.06
HCM Control Delay	15.4	11.2	9.6	10.2	12	8.1
HCM Lane LOS	C	B	A	B	B	A
HCM 95th-tile Q	3.4	0.7	0.3	0.4	1.7	0.2

GRAEF

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Year 2015 Total Weekday PM Peak Hour Traffic Analysis With Recommended Improvements
 2: 94th Avenue & 76th Street

HCM 2010 AWSC

Intersection

Intersection Delay, s/veh

Intersection LOS

Movement	SBU	SBL	SBT	SBR
Vol, veh/h	0	35	180	40
Peak Hour Factor	0.92	0.93	0.93	0.93
Heavy Vehicles, %	2	2	2	2
Mvmt Flow	0	38	194	43
Number of Lanes	0	0	1	1

Approach	SB
Opposing Approach	NB
Opposing Lanes	1
Conflicting Approach Left	WB
Conflicting Lanes Left	1
Conflicting Approach Right	EB
Conflicting Lanes Right	2
HCM Control Delay	11.4
HCM LOS	B

Lane

Year 2015 Total Weekday PM Peak Hour Traffic Analysis With Recommended Improvements
 3: 91st Avenue & 76th Street

HCM 2010 AWSC

Intersection

Intersection Delay, s/veh	8.4
Intersection LOS	A

Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Vol, veh/h	0	40	35	10	0	10	35	10	0	5	120	5
Peak Hour Factor	0.92	0.94	0.94	0.94	0.92	0.94	0.94	0.94	0.92	0.94	0.94	0.94
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	43	37	11	0	11	37	11	0	5	128	5
Number of Lanes	0	0	1	0	0	0	1	0	0	0	1	0

Approach

Approach	EB	WB	NB
Opposing Approach	WB	EB	SB
Opposing Lanes	1	1	1
Conflicting Approach Left	SB	NB	EB
Conflicting Lanes Left	1	1	1
Conflicting Approach Right	NB	SB	WB
Conflicting Lanes Right	1	1	1
HCM Control Delay	8.4	8.1	8.4
HCM LOS	A	A	A

Lane

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	4%	47%	18%	6%
Vol Thru, %	92%	41%	64%	71%
Vol Right, %	4%	12%	18%	23%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	130	85	55	175
LT Vol	120	35	35	125
Through Vol	5	10	10	40
RT Vol	5	40	10	10
Lane Flow Rate	138	90	59	186
Geometry Grp	1	1	1	1
Degree of Util (X)	0.172	0.119	0.076	0.224
Departure Headway (Hd)	4.481	4.757	4.704	4.324
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	802	753	761	832
Service Time	2.502	2.787	2.735	2.343
HCM Lane V/C Ratio	0.172	0.12	0.078	0.224
HCM Control Delay	8.4	8.4	8.1	8.6
HCM Lane LOS	A	A	A	A
HCM 95th-tile Q	0.6	0.4	0.2	0.9

Year 2015 Total Weekday PM Peak Hour Traffic Analysis With Recommended Improvements
 3: 91st Avenue & 76th Street

HCM 2010 AWSC

Intersection

Intersection Delay, s/veh

Intersection LOS

Movement	SBU	SBL	SBT	SBR
Vol, veh/h	0	10	125	40
Peak Hour Factor	0.92	0.94	0.94	0.94
Heavy Vehicles, %	2	2	2	2
Mvmt Flow	0	11	133	43
Number of Lanes	0	0	1	0

Approach	SB
Opposing Approach	NB
Opposing Lanes	1
Conflicting Approach Left	WB
Conflicting Lanes Left	1
Conflicting Approach Right	EB
Conflicting Lanes Right	1
HCM Control Delay	8.6
HCM LOS	A

Lane

Year 2015 Total Saturday Midday Peak Hour Traffic Analysis With Recommended Improvements
 2: 94th Avenue & 76th Street

HCM 2010 AWSC

Intersection

Intersection Delay, s/veh 16.3
 Intersection LOS C

Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Vol, veh/h	0	150	25	15	0	15	25	65	0	10	330	15
Peak Hour Factor	0.92	0.98	0.98	0.98	0.92	0.98	0.98	0.98	0.92	0.98	0.98	0.98
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	153	26	15	0	15	26	66	0	10	337	15
Number of Lanes	0	1	1	0	0	0	1	0	0	0	1	0

Approach

Approach	EB	WB	NB
Opposing Approach	WB	EB	SB
Opposing Lanes	1	2	2
Conflicting Approach Left	SB	NB	EB
Conflicting Lanes Left	2	1	2
Conflicting Approach Right	NB	SB	WB
Conflicting Lanes Right	1	2	1
HCM Control Delay	13	11.9	19.5
HCM LOS	B	B	C

Lane

Lane	NBLn1	EBLn1	EBLn2	WBLn1	SBLn1	SBLn2
Vol Left, %	3%	100%	0%	14%	20%	0%
Vol Thru, %	93%	0%	62%	24%	80%	0%
Vol Right, %	4%	0%	38%	62%	0%	100%
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop
Traffic Vol by Lane	355	150	40	105	330	70
LT Vol	330	0	25	25	265	0
Through Vol	15	0	15	65	0	70
RT Vol	10	150	0	15	65	0
Lane Flow Rate	362	153	41	107	337	71
Geometry Grp	6	7	7	6	7	7
Degree of Util (X)	0.63	0.319	0.076	0.21	0.586	0.108
Departure Headway (Hd)	6.256	7.492	6.713	7.052	6.264	5.453
Convergence, Y/N	Yes	Yes	Yes	Yes	Yes	Yes
Cap	572	476	529	512	572	651
Service Time	4.338	5.288	4.508	5.052	4.046	3.234
HCM Lane V/C Ratio	0.633	0.321	0.078	0.209	0.589	0.109
HCM Control Delay	19.5	13.8	10.1	11.9	17.6	8.9
HCM Lane LOS	C	B	B	B	C	A
HCM 95th-tile Q	4.4	1.4	0.2	0.8	3.8	0.4

GRAEF

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Year 2015 Total Saturday Midday Peak Hour Traffic Analysis With Recommended Improvements
 2: 94th Avenue & 76th Street

HCM 2010 AWSC

Intersection

Intersection Delay, s/veh

Intersection LOS

Movement	SBU	SBL	SBT	SBR
Vol, veh/h	0	65	265	70
Peak Hour Factor	0.92	0.98	0.98	0.98
Heavy Vehicles, %	2	2	2	2
Mvmt Flow	0	66	270	71
Number of Lanes	0	0	1	1

Approach

SB

Opposing Approach	NB
Opposing Lanes	1
Conflicting Approach Left	WB
Conflicting Lanes Left	1
Conflicting Approach Right	EB
Conflicting Lanes Right	2
HCM Control Delay	16.1
HCM LOS	C

Lane

Year 2015 Total Saturday Midday Peak Hour Traffic Analysis With Recommended Improvements
 3: 91st Avenue & 76th Street HCM 2010 AWSC

Intersection

Intersection Delay, s/veh	8.9
Intersection LOS	A

Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR
Vol, veh/h	0	45	25	10	0	5	30	5	0	5	135	5
Peak Hour Factor	0.92	0.86	0.86	0.86	0.92	0.86	0.86	0.86	0.92	0.86	0.86	0.86
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	52	29	12	0	6	35	6	0	6	157	6
Number of Lanes	0	0	1	0	0	0	1	0	0	0	1	0

Approach	EB	WB	NB
Opposing Approach	WB	EB	SB
Opposing Lanes	1	1	1
Conflicting Approach Left	SB	NB	EB
Conflicting Lanes Left	1	1	1
Conflicting Approach Right	NB	SB	WB
Conflicting Lanes Right	1	1	1
HCM Control Delay	8.7	8.3	8.8
HCM LOS	A	A	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	3%	56%	12%	2%
Vol Thru, %	93%	31%	75%	71%
Vol Right, %	3%	12%	12%	26%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	145	80	40	210
LT Vol	135	25	30	150
Through Vol	5	10	5	55
RT Vol	5	45	5	5
Lane Flow Rate	169	93	47	244
Geometry Grp	1	1	1	1
Degree of Util (X)	0.212	0.128	0.064	0.293
Departure Headway (Hd)	4.531	4.951	4.931	4.32
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	792	723	725	833
Service Time	2.562	2.99	2.973	2.348
HCM Lane V/C Ratio	0.213	0.129	0.065	0.293
HCM Control Delay	8.8	8.7	8.3	9.1
HCM Lane LOS	A	A	A	A
HCM 95th-tile Q	0.8	0.4	0.2	1.2

GRAEF

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Year 2015 Total Saturday Midday Peak Hour Traffic Analysis With Recommended Improvements
 3: 91st Avenue & 76th Street

HCM 2010 AWSC

Intersection

Intersection Delay, s/veh
 Intersection LOS

Movement	SBU	SBL	SBT	SBR
Vol, veh/h	0	5	150	55
Peak Hour Factor	0.92	0.86	0.86	0.86
Heavy Vehicles, %	2	2	2	2
Mvmt Flow	0	6	174	64
Number of Lanes	0	0	1	0

Approach

SB

Opposing Approach	NB
Opposing Lanes	1
Conflicting Approach Left	WB
Conflicting Lanes Left	1
Conflicting Approach Right	EB
Conflicting Lanes Right	1
HCM Control Delay	9.1
HCM LOS	A

Lane

COSTCO WHOLESALE

7707 94TH AVENUE
PLEASANT PRAIRIE, WI

COSTCO WHOLESALE
PLEASANT PRAIRIE, WI
7707 94TH AVENUE
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BID SET

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STATE	STATE OF WISCONSIN 141 NW BARSTOW ST WALKERSHA 53188 T: 262.548.8805

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PROJECT GENERAL NOTES

- THESE GENERAL NOTES APPLY TO THE ENTIRE PROJECT AND APPLY TO ALL TRADES.
- DRAWINGS HAVE BEEN PREPARED ON AN ORIGINAL SHEET SIZE OF 30X42-INCHES.
- CONSULT DRAWINGS OTHER THAN ARCHITECTURAL DRAWINGS FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
- CONDITIONS AND DIMENSIONS SHOWN ON SITE PLANS ARE FROM A SURVEY PREPARED BY OTHERS OR FROM AVAILABLE RECORDS. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE ACCURACY OF INFORMATION SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING INFORMATION SHOWN PRIOR TO STARTING THE WORK.
 - THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES.
 - IF NECESSARY TO COMPLETE THE WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY ADDITIONAL UTILITY LOCATIONS AND SIZES NOT SHOWN.
- THE CONTRACTOR SHALL TAKE ALL POSSIBLE CARE TO AVOID DAMAGE OR DISTURBANCE TO EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY CONTRACTOR CAUSED DAMAGE TO THE UTILITIES. SUCH REPAIRS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE AND IN SUCH A MANNER AS TO BE LEAST-DISRUPTIVE AS POSSIBLE TO THE OWNER'S OPERATIONS.
- DO NOT SCALE THE DRAWINGS TO OBTAIN DIMENSIONS. WRITTEN DIMENSIONS GOVERN. USE ACTUAL FIELD MEASUREMENTS.
- DIMENSIONS ARE TOPFORM TO:
 - CENTERLINE OF INTERIOR COLUMNS.
 - GRID LINES ADJACENT TO THE EXTERIOR WALL (INNER FACE OF STEM WALL / NOMINAL FACE OF MASONRY).
 - EDGE OR CENTERLINE OF OPENINGS AS INDICATED.
 - FACE OF STUDS.
 - FACE OF CONCRETE OR MASONRY (NOMINAL).
- ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF THE SLAB (ALSO NOTED AS FINISHED FLOOR OR INDICATED BY THE DATUM SYMBOL) UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS NOTED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THE THICKNESS OF ALL FINISHES INCLUDING CARPETING, TILE, WAINSCOT AND TRIM.
- ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE LOCATED SO THE EDGE OF THE DOOR OPENING IS 6-INCHES AWAY FROM THE FACE OF ANY ADJOINING INTERSECTING WALL.
 - ALL METAL STUDS ARE 3-5/8" UNLESS NOTED OTHERWISE.
- VERIFY ALL DIMENSIONS OF EXISTING CONDITIONS. NEITHER THE ARCHITECT NOR HIS CONSULTANTS ARE RESPONSIBLE FOR THE ACCURACY OF THESE DIMENSIONS. IF EXISTING CONDITIONS OR DIMENSIONS ARE NOT AS SHOWN, IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT FURNISHED AND/OR INSTALLED BY THE CONTRACTOR, SUBCONTRACTORS, OWNER OR OTHERS.
- THE CONTRACTOR SHALL CONSULT DRAWINGS OF ALL TRADES FOR OPENINGS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUIT, CABINETS, EQUIPMENT, ETC. AND SHALL VERIFY THE SIZES AND LOCATIONS WITH SUBCONTRACTORS.
- PLACE NO OBSTRUCTIONS, INCLUDING MAINS, PIPING, CONDUIT, ETC. OF ANY KIND SO AS TO IMPAIR GIVEN CEILING HEIGHTS AND CLEARANCES, RUN PIPING, CONDUITS, ETC. IN JOIST DETAIL. DO NOT RUN BELOW SKYLIGHTS.
- ALL CONDUITS, PIPING, ETC. SHALL RUN PARALLEL OR PERPENDICULAR TO WALLS; DO NOT RUN AT AN ANGLE TO THE WALLS.
- IN ROOMS OR SPACES SCHEDULED TO RECEIVE WALL AND/OR CEILING FINISHES, DO NOT RUN EXPOSED CONDUITS, PIPING, ETC. ON WALLS OR CEILINGS.
- ALL WORK IS TO BE PLUMB, LEVEL, TRUE TO LINE, AND STRAIGHT.
- ALL JOINTS ARE TO BE TIGHT, STRAIGHT, EVEN, AND SMOOTH.
- ALL MATERIAL IS NEW UNLESS NOTED OTHERWISE.
- PROVIDE ALL FASTENERS AND CONNECTIONS (WHETHER INDICATED OR NOT) NECESSARY TO ASSEMBLE THE WORK.
- PROVIDE SOLID BLOCKING FOR ALL WALL MOUNTED FIXTURES AND EQUIPMENT INCLUDING, BUT NOT LIMITED TO, SINKS, WALL BRACKETS AND WALL-HUNG ITEMS.
- PREPARE SURFACE AND REMOVE SURFACE FINISHES TO PROVIDE FOR PROPER INSTALLATION ON NEW WORK AND FINISHES. COMPLY WITH MANUFACTURERS' INSTALLATION REQUIREMENTS.
- REPAIR, PATCH, OR REPLACE PORTIONS OF WORK THAT ARE DAMAGED, LIFTED, DISCOLORED, OR SHOWING OTHER IMPERFECTIONS.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE SEALED WITH AN APPROVED MATERIAL AS APPROVED BY THE JURISDICTION.
- CONSTRUCTION ACTIVITIES SHALL NOT AFFECT THE OWNER'S OPERATIONS. LOUD ACTIVITIES (JACK-HAMMERING, SAW-CUTTING, ETC.) AND ANY WORK REQUIRING INTERRUPTIONS OF UTILITIES (WATER, ELECTRICITY, GAS, FIRE, SPRINKLER/ALARM, SEWER, ETC.) SHALL BE PERFORMED DURING NON-BUSINESS HOURS AS APPROVED BY THE OWNER. ENSURE UNINTERRUPTED SECURITY AND PHONE SYSTEMS OPERATION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNS, REFLECTORS, LIGHTS, ETC. TO PROPERLY IDENTIFY AREAS CLOSED TO THE PUBLIC AND FOR PROVIDING SAFETY ALERTS DURING CONSTRUCTION.

PROJECT DESCRIPTION

THE PROJECT IS A 153,855 SQUARE FEET, ONE STORY MERCANTILE OCCUPANCY BUILDING WITH FULLY AUTOMATIC FIRE-PROTECTION SPRINKLER SYSTEM AND FIRE ALARM SYSTEM.

ALSO INCLUDED IN THE PROJECT IS A FREESTANDING FUEL FACILITY WITH CANOPY.

SCOPE OF WORK

BUILDING: THE WORK INCLUDES, BUT NOT LIMITED TO, BUILDING SHELL, CANOPY INTERIOR TENANT IMPROVEMENTS AND FINISHES, ITEMS FURNISHED BY THE OWNER AND INSTALLED BY THE CONTRACTOR AND ITEMS FURNISHED AND INSTALLED BY THE OWNER WITH FINAL CONNECTIONS BY THE CONTRACTOR.

THE WORK ALSO INCLUDES, BUT NOT LIMITED TO, INTERIOR SIGNAGE, FIRE PROTECTION SPRINKLER SYSTEMS, LIFE SAFETY/FIRE ALARM SYSTEMS, HVAC SYSTEMS, ENERGY MANAGEMENT SYSTEMS, SITE LIGHTING, CURBS, PAVEMENT, STRIPING/ARROWS, LANDSCAPING, IRRIGATION, FENCING AND RETAINING WALLS.

EXTERIOR BUILDING SIGNAGE IS A DEFERRED SUBMITTAL.

ON SITE: THE WORK INCLUDES, BUT NOT LIMITED TO, ABATEMENT IF REQUIRED, EXCAVATION, IMPORT FILL, GRADING, STORM WATER DRAINAGE SYSTEM WITH DETENTION/RETENTION WALLS/PONDS, WATER DISTRIBUTION SYSTEMS, SANITARY SEWER SYSTEMS, NATURAL GAS DISTRIBUTION SYSTEM, ELECTRICAL DISTRIBUTION SYSTEMS, SITE LIGHTING, CURBS, PAVEMENT, STRIPING/ARROWS, LANDSCAPING, IRRIGATION, FENCING AND RETAINING WALLS.

OFF SITE: THE WORK INCLUDES, BUT NOT LIMITED TO, DEMOLITION, TRAFFIC SIGNALIZATION, TRAFFIC CHANNELIZATION IMPROVEMENTS, CURB CUTS, CURBS, PAVEMENT, STRIPING, LANDSCAPING, IRRIGATION FENCING AND RETAINING WALLS. THE WORK ALSO INCLUDES STREET IMPROVEMENTS SUCH AS LIGHTING, UTILITIES, ETC. THE WORK ALSO INCLUDES HOVLAN IN DRIVEWAY APPROACH RECONFIGURATION, STREET LIGHT POLE RELOCATION FOR EXISTING LIGHT POLES LOCATED IN PROPOSED DRIVEWAYS, AND REGIONAL RETENTION BASIN EXCAVATION FOR CONVERSION TO A DETENTION BASIN.

FUEL FACILITY: THE WORK INCLUDES, BUT NOT LIMITED TO, UNDERGROUND FUEL STORAGE TANKS, FUEL DISPENSING PUMPS, PIPING AND MONITORING SYSTEMS, CANOPY, CONTROLLER ENCLOSURE, SIGNAGE (BY MBS) AND ELECTRICAL/LIGHTING SYSTEMS.

LEGAL DESCRIPTION

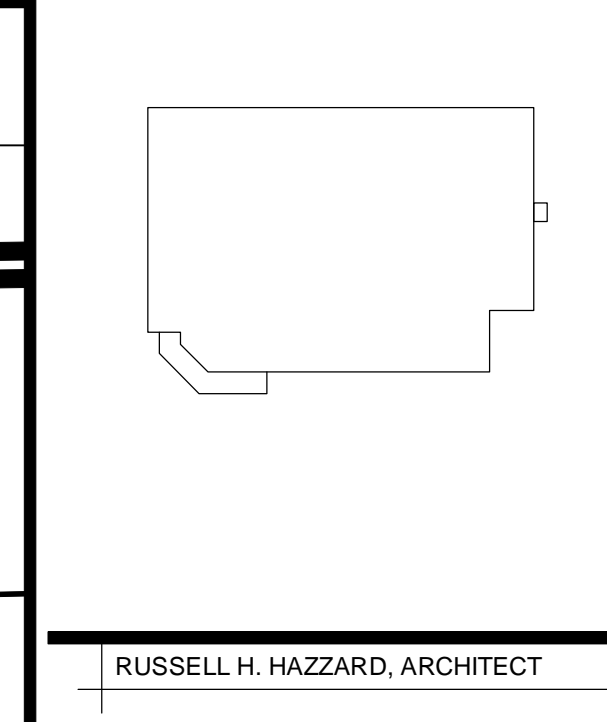
PARCEL 1: OUTLOTS 18, 20, 21 AND 22 EXCEPT PART DESCRIBED IN CERTIFIED SURVEY MAP NO. 2063, RECORDED AS DOCUMENT NO. 110314, IN PRAIRIE RIDGE, BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4, NORTHWEST 1/4, SOUTHWEST 1/4 AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4, THE NORTHWEST 1/4, SOUTHWEST 1/4 AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4, THE NORTHWEST 1/4, NORTHWEST 1/4, SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, SAID LAND BEING IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN.

PARCEL 1: LOT 2 OF CERTIFIED SURVEY MAP NO. 2744 RECORDED FEBRUARY 28, 014 AS DOCUMENT NO. 1721909, BEING A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 2175, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN.

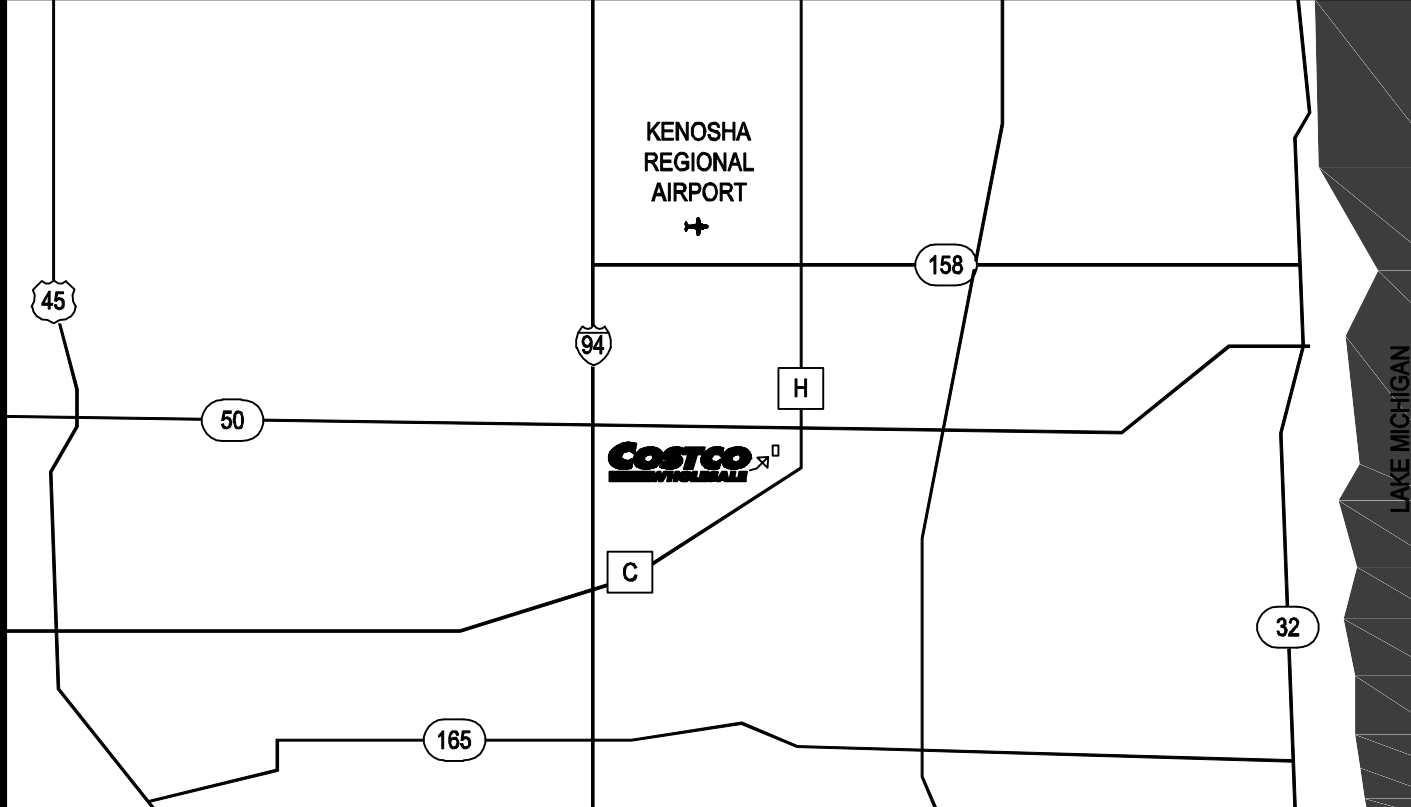
CONTRACTOR INFO

PRIOR TO CONSTRUCTION, A PRECONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD. COORDINATE THE MEETING TIME AND DATE WITH THE COMMUNITY DEVELOPMENT DIRECTOR AT 262.891.6717.

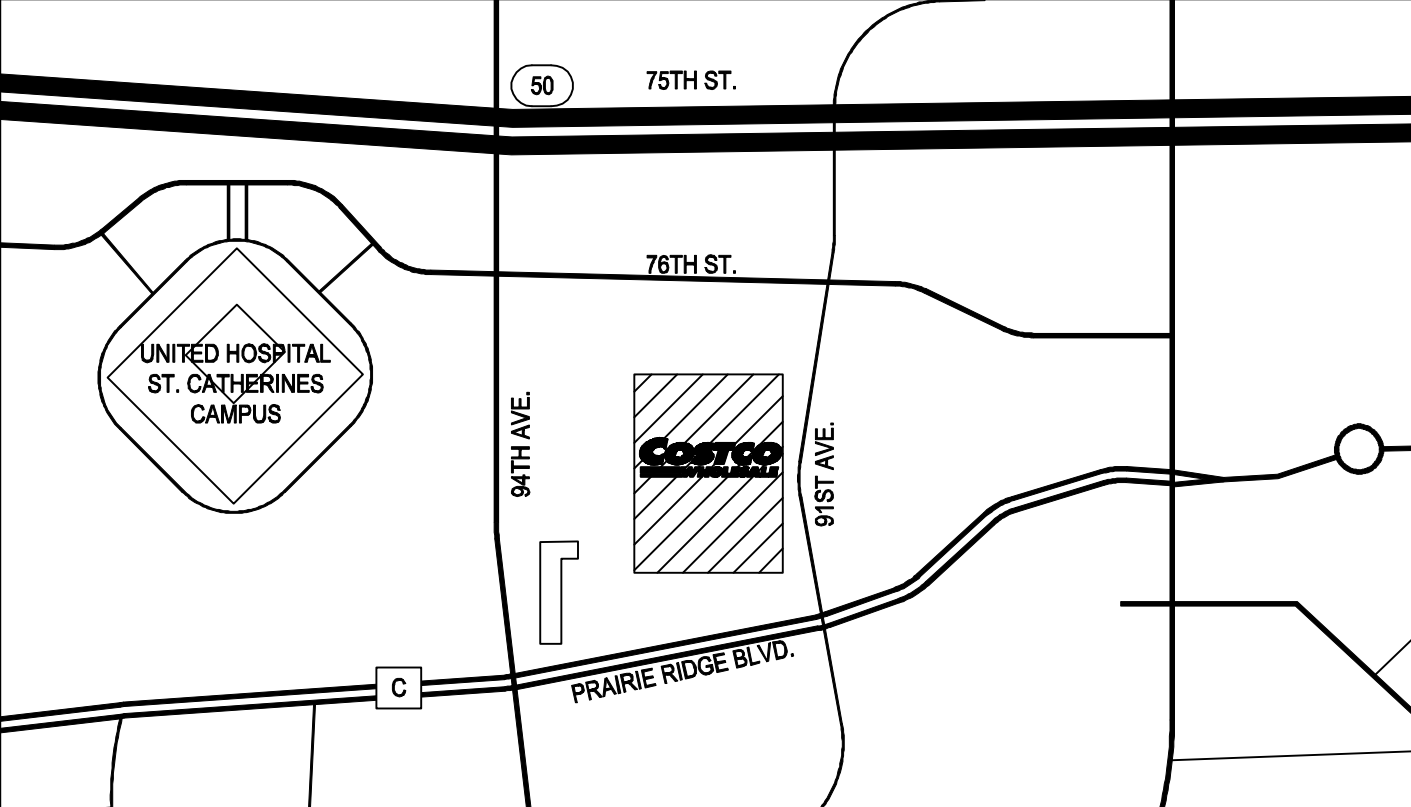
KEY PLAN



REGIONAL MAP



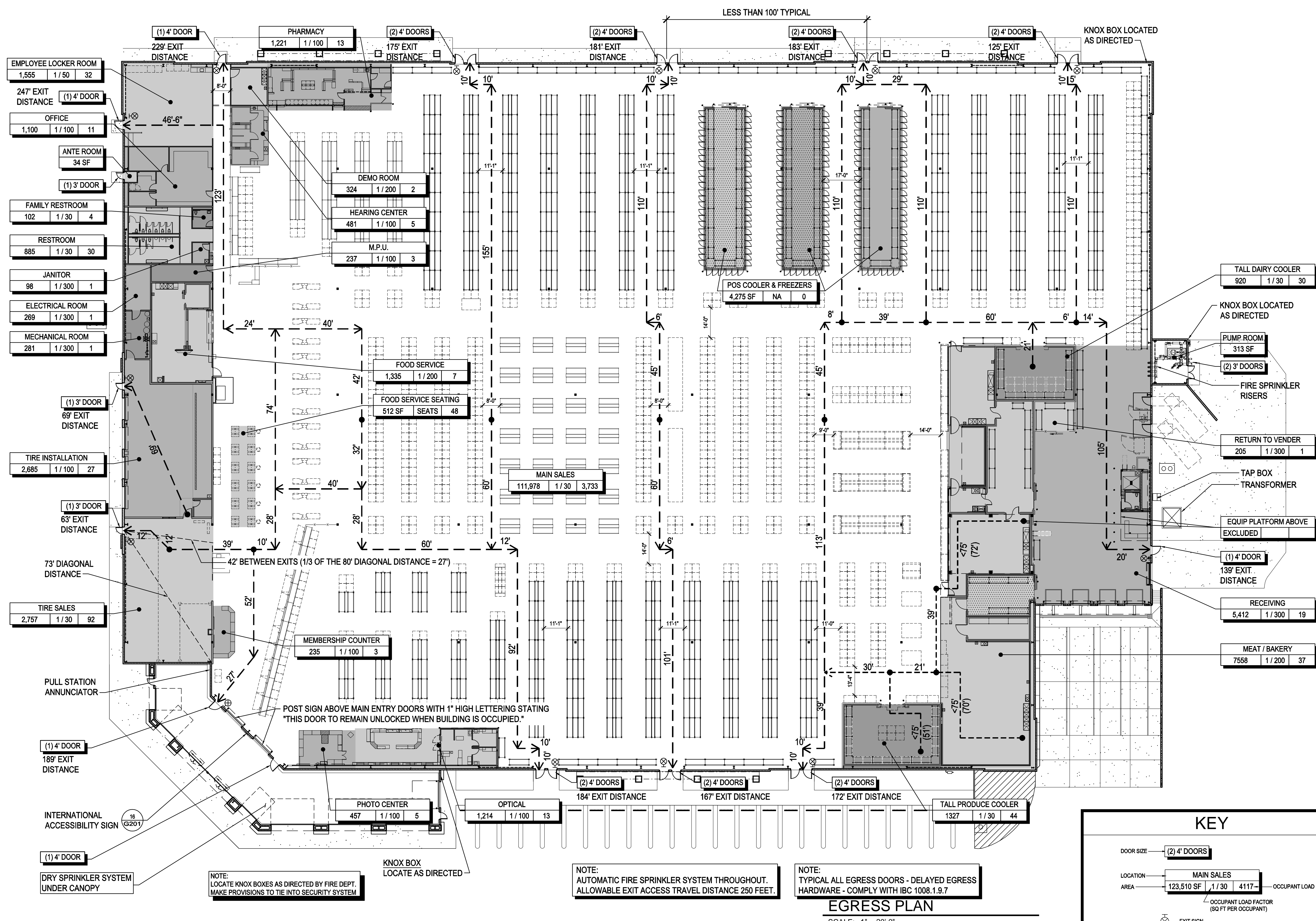
VICINITY MAP



ARCHITECTURAL ABBREVIATIONS

ACOUS	ACOUSTICAL	ENCL	ENCLOSURE	LTWT	LIGHT WEIGHT	QTR	QUARTER TILE	TEMP	TEMPERED GLASS
ADJ	ADJUSTABLE, ADJACENT	EQ	EQUAL	LQ	LIQUID	UT	UTILITY	TYP	TYPICAL
AF	ABOVE FINISHED FLOOR (SLAB)	EXH	EXHAUST	MAS	MASONRY	R	RADIUS	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINUM	EXST	EXISTING	MAX	MAXIMUM	RC	REFRIGERATION CONTRACTOR	UNB	UNIFORM BUILDING CODE
AND	AND/ODDZED	EXP	EXPANSION	MBS	METAL BUILDING SUPPLIER	RC	REFLECTED CEILING PLAN	UNO	UNLESS NOTED OTHERWISE
APPROX	APPROXIMATE	EXT	EXTERIOR	MCH	MCHANICAL	RD	ROOF DRAIN	VCT	VINYL COMPOSITION TILE
APPR	APPROACH	FD	FLOOR DRAIN	MFG	MANUFACTURING	RL	RAIN LEADER	VERT	VERTICAL
BFF	BELOW FINISHED FLOOR (SLAB)	FDN	FOUNDATION	MFR	MANUFACTURER	RECD	RECEIVED	VIF	VERIFY IN FIELD
BLD	BUILDING	FF	FACTORY FINISH	MH	MANHOLE	REFRG	REFRIGERATION	WD	WOOD
BLK	BLOCK	FHS	FLAT HEAD SCREW	MIN	MINIMUM	REFR	REFLECTED	WD	WITHOUT
BLKG	BLOCKING	FL	FLOOR	MIP	METAL INSULATED PANEL	REQD	REQUIRED	WD	WOOD
BM	BEAM	FRP	FURNISHED AND INSTALLED BY OWNER	MSC	MISCELLANEOUS	RO	ROUGH OPENING	WDW	WINDOW
BOT	BOTTOM	FRP	FIBER REINFORCED PLASTIC PANEL(S)	MO	MOUNTED	SCHD	SCHEDULE	WHS	WELDED HEAD STUD
BTWN	BETWEEN	FRPP	FIBER REINFORCED PLASTIC PANEL(S)	MR	MOISTURE RESISTANT	SC	SOLID CORE	WP	WATERPROOF
CB	CATCH BASIN	FRT	FIRE RETARDANT TREATED	MUL	MULLION	SHT	SHEET		

PLOTTED BY: ADRIAN HO DATE/TIME: 9/20/2014 9:51 AM FILE: H:\RETAIL\COSTCO\1414-0006-01-PLEASANT PRAIRIE.WD7_CAD\703.CONST\DCS\1400601-G101.DWG
 MASTER FILE: H:\RETAIL\COSTCO\1414-0006-01-PLEASANT PRAIRIE.WD7_CAD\703.CONST\DCS\1400601-G101.DWG



BUILDING STATISTICS

NET FLOOR AREA (EXCLUDES EXTERIOR WALLS):

WAREHOUSE =	148,270 SQFT
CANOPY =	3,985 SQFT
PUMP ROOM =	320 SQFT
TOTAL SQ FT =	152,575 SQFT

GROSS AREA (FOOTPRINT - INCLUDES EXTERIOR WALLS):

WAREHOUSE =	149,365 SQFT
CANOPY =	4,234 SQFT
PUMP ROOM =	356 SF
TOTAL SQ FT =	153,955 SF

NUMBER OF STORIES: 1
 MAX BUILDING HEIGHT (ABOVE FLOOR): 32 FEET

AUTOMATIC FIRE SPRINKLER SYSTEM: YES NO
 [X] []

FIRE ALARM SYSTEM: [X] []

SMOKE / HEAT VENTS: [X] []
 [X] VENT RATIO 1:100
 [X] MANUAL RELEASE AT ROOF
 [X] FUSIBLE LINK 360°
 [X] SPACING LESS THAN 120 FEET

CURTAIN BOARDS: [] [X]

COSTCO WHOLESALE CORPORATION
 999 LAKE DRIVE
 ISSAQUAH, WA 98027
 T: 425.313.8100
 www.costco.com

MulvannyG2.com
 1110 112TH AVE. NE | SUITE 500
 BELLEVUE, WA | 98004
 1 425.463.2000 | 1 425.463.2002

CODE ANALYSIS

APPLICABLE BUILDING CODE:
 2009 INTERNATIONAL BUILDING CODE
 WITH 2009 WISCONSIN AMENDMENTS

OCCUPANCY CLASSIFICATION:
 NON-SEPARATED USES - GROUP 'M' (MERCANTILE)
 NO OCCUPANCY SEPARATIONS REQUIRED

ALLOWABLE FLOOR AREA:
 UNLIMITED AREA PER 507 - APPROVED
 AUTOMATIC SPRINKLER SYSTEM THROUGHOUT
 AND ENTIRELY SURROUNDED & ADJOINED BY
 PUBLIC WAYS OR YARDS NOT LESS THAN 60 FEET

BUILDING HEIGHT AND NUMBER OF STORIES:
 ALLOWABLE: 40 FEET - 1 STORY
 ACTUAL: 32 FEET - 1 STORY

TYPE OF CONSTRUCTION : TYPE V-B

GOVERNING AUTHORITY REQUIREMENTS:
 POST SIGN ABOVE MAIN ENTRY DOORS WITH 1" HIGH
 LETTERING STATING "THIS DOOR TO REMAIN UNLOCKED
 WHILE BUILDING IS OCCUPIED."

THERMAL R-VALUES:
 CONSULT SPECIFICATIONS & MECHANICAL DOCUMENTS FOR
 REQUIRED THERMAL VALUES, AS A MINIMUM:

ROOF:
 R-25 BATT

ROOF:
 R-15.9 TEXTURE PANEL
 CMU 8" PARTIALLY GROUTED, CELLS INSULATED

BID SET

KEY

DOOR SIZE	(2) 4' DOORS
LOCATION	MAIN SALES
AREA	123,510 SF 1/30 4117' OCCUPANT LOAD
	OCCUPANT LOAD FACTOR (SQ FT PER OCCUPANT)
	EXIT SIGN

NOTE: AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT. ALLOWABLE EXIT ACCESS TRAVEL DISTANCE 250 FEET.

NOTE: TYPICAL ALL EGRESS DOORS - DELAYED EGRESS HARDWARE - COMPLY WITH IBC 1008.1.9.7

EGRESS PLAN

SCALE: 1" = 20'-0"

FIRE EXTINGUISHER NOTES:

- LOCATE FIRE EXTINGUISHERS (SOIC) AS DIRECTED BY FIRE MARSHAL
- FIRE MARSHAL SHALL DETERMINE SIZE AND TYPE OF EXTINGUISHERS IN GENERAL, PROVIDE:
 - ONE 2A: 10 BC FIRE EXTINGUISHER PER 3,000 SQ FT AREA WITHIN 75-FOOT MAXIMUM TRAVEL DISTANCE
 - CLASS K FIRE EXTINGUISHER WITHIN 30 FEET OF COMMERCIAL FOOD HEAT-PROCESSING EQUIPMENT
 - COMPLY WITH NFPA 10

PLUMBING FIXTURES (IBC)

OCCUPANCY GROUP: M (MERCANTILE)
 BUILDING AREA: 148,305 SQ FT
 NUMBER OF OCCUPANTS = 4,177 OCCUPANTS;
 2,089 MEN; 2,089 WOMEN

FIXTURE	REQUIRED		REQUIRED	
	MEN	WOMEN	MEN	WOMEN
* WATER CLOSET	1 PER 500	1 PER 500	* 5	5
LAVATORY	1 PER 2 WC	1 PER 2 WC	3	3

* NOTE: EQUAL TO / LESS THAN HALF OF WATER CLOSETS FOR MEN ARE URINALS

DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.

THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE BUILDING OFFICIAL HAS APPROVED THE SUBMITTAL DOCUMENTS.

THE FOLLOWING ARE DEFERRED SUBMITTALS:

- METAL BUILDING SYSTEM
- KITCHEN TYPE I AND II HOODS
- HOOD FIRE SUPPRESSION SYSTEM
- FIRE SPRINKLER SYSTEM AND ALARM SYSTEM
- SMOKE ALARM SYSTEM
- FIRE-STOPPING
- FREEZER AND COOLERS
- REFRIGERATION SYSTEMS
- THERMOPLASTIC SINGLE PLY ROOFING
- SYSTEM EIFS (EXTERIOR INSULATED FINISH SYSTEM)
- EXTERIOR BUILDING SIGNAGE

WALL AND CEILING ANALYSIS

	FINISHES	FLAME SPREAD INDEX	SMOKE DEVELOPED INDEX
WALLS	VINYL BASE	<200	355
	CMU	NC	NC
	GYPSUM BOARD	15-20	0
	CERAMIC BOARD	NC	NC
	ACRYLIC PAINTS	10	0
	FRP PANELS	<200	<450
CEILINGS	FRT PLYWOOD	<25	25-130
	ACOUSTICAL TILES	20-25	5-10
	GYPSUM BOARD	15-20	0
	UPVC LINEAR STRIPS	<25	<450
	STEEL DECK	NC	NC
	STEEL JOIST	NC	NC
OTHER	EPOXY PAINTS	15	20
	ACRYLIC PAINTS	10	0
	THERMAL INSULATION	10	10

NOTE: NC = NON-COMBUSTIBLE

CLASS - B	26-75	0-450
CLASS - C	76-200	0-450

EGRESS SUMMARY

WAREHOUSE:

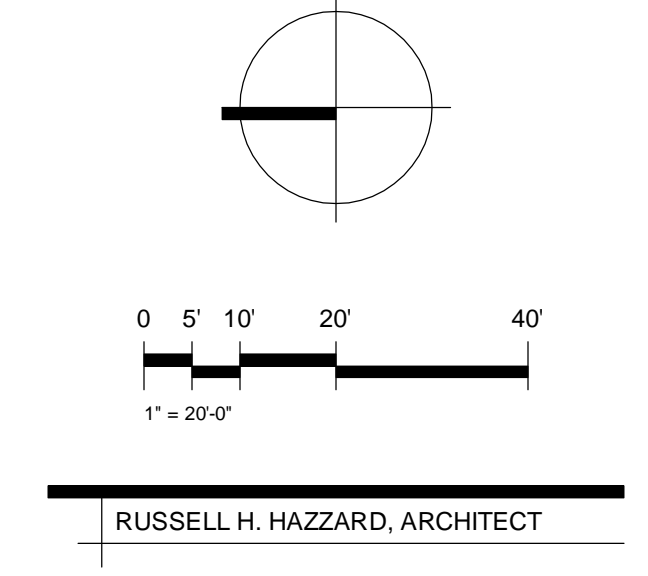
TOTAL OCCUPANTS - WAREHOUSE: 4,148

EGRESS WIDTH PER PERSON: 0.20
 REQUIRED EGRESS WIDTH (IN INCHES): 830

ACTUAL EGRESS WIDTH (IN INCHES):
 (19) 48" DOORS AT 45" NET = 855
 (1) 36" DOORS AT 33" NET = 33
 TOTAL = 888

TIRE INSTALLATION:
 TOTAL OCCUPANTS - TIRE INSTALLATION: 29
 EGRESS WIDTH PER PERSON: 0.20
 REQUIRED EGRESS WIDTH (IN INCHES): 6

ACTUAL EGRESS WIDTH (IN INCHES):
 (1) 36" DOORS AT 33" NET = 33
 TOTAL = 33



DATE	DESCRIPTION
	OWNER APPROVAL
9.03.14	PERMIT ISSUE
9.03.14	BID ISSUE
	BUILDING DEPT REVISIONS
	CONTRACT ISSUE
	PR #1
	AS-BUILT ISSUE

14-0006-01
 PM: TRAVIS MORTON
 DRAWN: YAH

EGRESS PLAN AND CODE DATA

COSTCO WHOLESALE CORPORATION

WAREHOUSE

PLEASANT PRAIRIE, WISCONSIN

CIVIL CONSTRUCTION DOCUMENTS



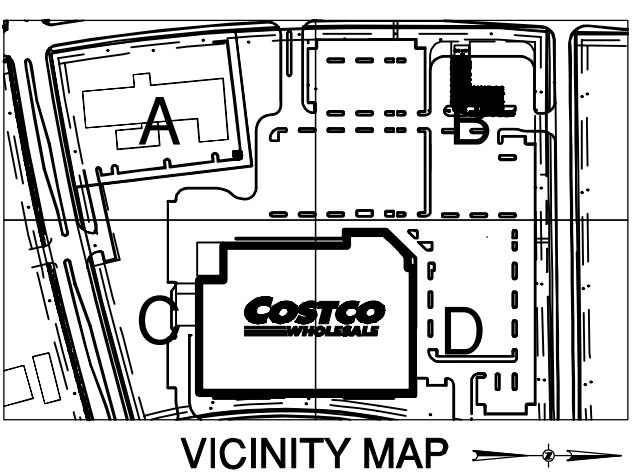
One Honey Creek Corporate Center
 125 South 84th Street, Suite 401
 Milwaukee, WI 53214-1469
 414 / 259 1500
 414 / 259 0037 fax
 www.graef-usa.com

Sheet List Table

Sheet Number	Sheet Title
C000	COVER SHEET
C100	ALTA_ ACSM LAND TITLE SURVEY
C200	SITE EROSION CONTROL PLAN
C201	SITE DEMOLITION PLAN
C300	OVERALL LAYOUT PLAN
C301	DETAILED LAYOUT PLAN – AREA A
C302	DETAILED LAYOUT PLAN – AREA B
C303	DETAILED LAYOUT PLAN – AREA C
C304	DETAILED LAYOUT PLAN – AREA D
C310	SITE SIGNAGE PLAN
C400	OVERALL GRADING PLAN
C401	DETAILED GRADING PLAN – AREA A
C402	DETAILED GRADING PLAN – AREA B
C403	DETAILED GRADING PLAN – AREA C
C404	DETAILED GRADING PLAN – AREA D
C500	OVERALL UTILITY PLAN
C510	SANITARY SEWER PLAN AND PROFILE
C511	SANITARY SEWER PLAN AND PROFILE
C512	SANITARY SEWER PLAN AND PROFILE
C520	WATER MAIN PLAN AND PROFILE
C521	WATER MAIN PLAN AND PROFILE
C522	WATER MAIN PLAN AND PROFILE
C523	WATER MAIN PLAN AND PROFILE
C530	DETAILED STORM SEWER PLAN – AREA A
C531	DETAILED STORM SEWER PLAN – AREA B
C532	DETAILED STORM SEWER PLAN – AREA C
C533	DETAILED STORM SEWER PLAN – AREA D
C600	OFF SITE IMPROVEMENTS – DETENTION BASIN GRADING
C601	OFF SITE IMPROVEMENTS – STREET LIGHT POLE RELOCATIONS
C602	OFF SITE IMPROVEMENTS– HOLIDAY INN DEMO AND EROSION CONTROL PLAN
C603	OFF SITE IMPROVEMENTS– HOLIDAY INN LAYOUT AND GRADING PLAN
C900	SITE CONSTRUCTION DETAILS
C901	SITE CONSTRUCTION DETAILS
C902	SITE CONSTRUCTION DETAILS
C903	SITE CONSTRUCTION DETAILS
C904	SITE CONSTRUCTION DETAILS
C905	SITE CONSTRUCTION DETAILS

PROJECT TITLE:
 COSTCO WHOLESALE CORPORATION
 WAREHOUSE
 PLEASANT PRAIRIE, WISCONSIN

ISSUE:
 NO. DATE REVISIONS BY
 9/3/14 BID SET JMH



PROJECT INFORMATION:
 PROJECT NUMBER: 20140079.00
 DATE: 09/03/14
 DRAWN BY: SRK
 CHECKED BY: JMH
 APPROVED BY: TMF
 SCALE: AS NOTED
 FILE PATH: C:\00_C000_COVER_079

SHEET TITLE:
 COVER SHEET

SHEET NUMBER:

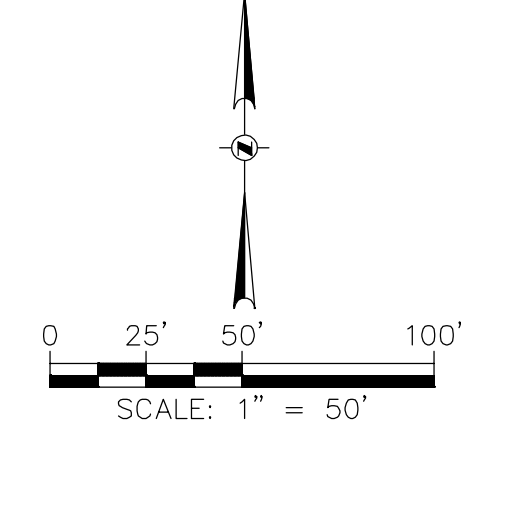
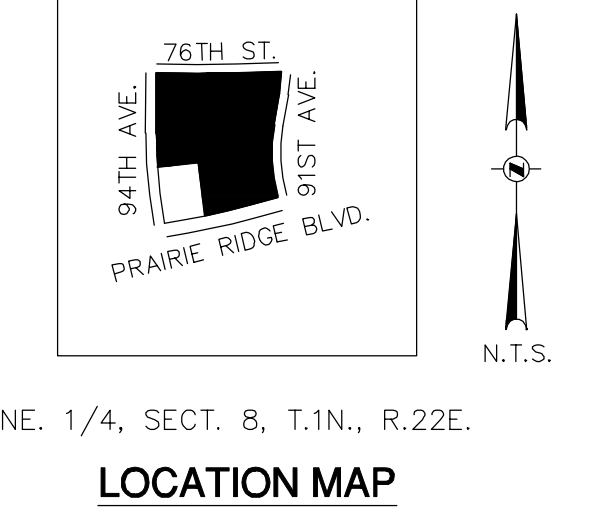
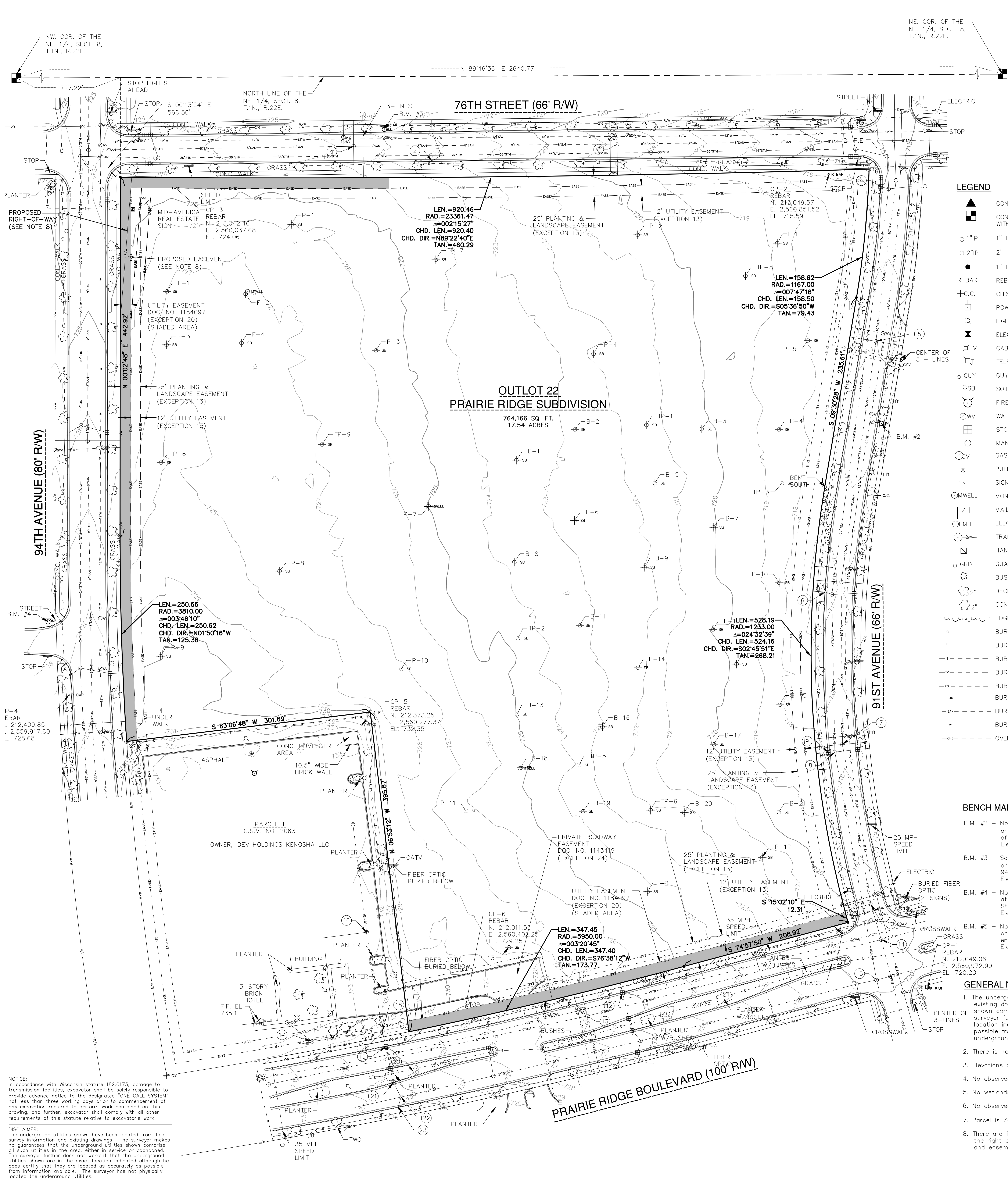
C000

NOTICE:
 In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
 The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

NOTE:

PRIOR TO CONSTRUCTION, A PRECONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD. COORDINATE THE MEETING TIME AND DATE WITH THE COMMUNITY DEVELOPMENT DIRECTOR AT 262-925-6717.



LEGEND

- ▲ CONTROL POINT
- CONCRETE MONUMENT WITH BRASS CAP
- 1"IP 1" IRON PIPE FOUND
- 2"IP 2" IRON PIPE FOUND
- 1" IRON PIPE SET
- R BAR REBAR
- +C.C. CHISELED CROSS
- POWER POLE
- LIGHT POLE
- ⊠ ELECTRIC TRANSFORMER
- TV CABLE TV PEDESTAL
- TELEPHONE PEDESTAL
- GUY GUY WIRE
- SB SOIL BORING
- FHY FIRE HYDRANT
- WV WATER VALVE
- SI STORM INLET
- M MANHOLE
- GV GAS VALVE
- PULL BOX
- SIGN
- MW MONITORING WELL
- MB MAIL BOX
- EMH ELECTRIC MANHOLE
- TS TRAFFIC SIGNAL
- HH HAND HOLE
- GRD GUARD POST
- B BUSH
- D2 DECIDUOUS TREE
- C2 CONIFEROUS TREE
- E BURIED GAS MAIN
- E BURIED ELECTRIC LINE
- E BURIED TELEPHONE LINE
- E BURIED CABLE TV LINE
- E BURIED FIBER OPTIC LINE
- E BURIED STORM SEWER
- E BURIED SANITARY SEWER
- E BURIED WATER MAIN
- OE OVERHEAD ELECTRIC LINE

BENCH MARKS

- B.M. #2 - Northwest bolt on top flange of fire hydrant on the east side of S. 91st Ave. 300'± south of 76th St. Elevation = 720.46
- B.M. #3 - Southwest bolt on top flange of fire hydrant on the north side of 76th St. 300'± east of 94th Ave. Elevation = 725.84
- B.M. #4 - Northwest bolt on top flange of fire hydrant at the northwest corner of 94th Ave. and St. Catherine Dr. Elevation = 730.30
- B.M. #5 - Northwest bolt on top flange of fire hydrant on the north side of Prairie Ridge Blvd. at the entrance to the Holiday Inn. Elevation = 729.77

GENERAL NOTES

1. The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.
2. There is no address of record.
3. Elevations are referenced to NAD 1929.
4. No observed evidence of site used as a solid waste dump, sump or sanitary landfill.
5. No wetlands on parcel.
6. No observed evidence of earthmoving or building construction.
7. Parcel is Zoned B-2 (PUD) Community Business District.
8. There are future plans by the Wisconsin Department of Transportation to adjust the right of way at the northwest corner of the site. The proposed right of way and easements are shown and noted.

LEGAL DESCRIPTION

PARCEL I:
Outlots 18, 20, 21 and 22 except part described in Certified Survey Map No. 2063, recorded as Document No. 1113314, in Prairie Ridge, being a subdivision of part of the Northeast 1/4, Northwest 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4, the Northeast 1/4, the Northwest 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4, the Northeast 1/4, Northwest 1/4, Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 8, Township 1 North, Range 22 East of the Fourth Principal Meridian, Said land being in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

PARCEL II:
Lot 2 of Certified Survey Map No. 2744 recorded February 28, 2014 as Document No. 1721909, being a subdivision of Parcel 1 of Certified Survey Map No. 2175, being part of the Northeast 1/4 of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

SCHEDULE B PER COMMITMENT

NO. NCS-665586-WA1 DATED 4/22/14

- 1-10. Not survey related.
11. Easement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin as Document No. 526051. (Does not affect this parcel)
12. Covenants, conditions, restrictions, easements, notations, setbacks, access limitation, wetland conservancy areas, stormwater detention easements and restricted stormwater detention areas as shown on the recorded plat and Certified Survey Map Nos. 2063, 2175 and 2744 and Surveyors Affidavit of Correction recorded in the Office of the Register of Deeds for Kenosha County, Wisconsin on April 25, 2002, as Document No. 1265279. (Affects this parcel).
13. Declaration of Development Standards and Protective Covenants recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, as Document No. 1088729; along with First Amendment recorded as Document No. 1115848, and re-recorded as Document No. 1120380, along with Second Amendment recorded as Document No. 1170856 and re-recorded as Document No. 1175268; along with Third Amendment recorded as Document No. 1175267; along with Fourth Amendment recorded as Document No. 1614310. (Affects parcel as shown).
14. Not survey related.
15. Not survey related.
16. Memorandum of Development Agreement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin as Document No. 1035830. (Affects parcel, unable to plot).
17. Memorandum of Agreement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, as Document No. 1075619. (Affects parcel, unable to plot).
18. Not survey related.
19. Utility Easement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin as Document No. 1071378. (Does not affect parcel).
20. Easement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin as Document No. 1184097. (Affects parcel as shown).
21. Covenants, conditions, easements and restrictions contained in Private Roadway and Access Easement recorded as Document No. 1133398. (Does not affect parcel).
22. Not survey related.
23. Driveway Easement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, as Document No. 1245842. (Does not affect parcel).
24. Private Roadway Easement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin as Document No. 1143419. (Affects parcel as shown).
25. Affidavit of Correction correcting the following Dedicated Public Pedestrian Walkway easement indicated over Outlots 8 and 9, Prairie Ridge Subdivision to read Dedicated Public Bike Path, recorded in the office of the Register of Deeds for Kenosha County, Wisconsin on March 01, 2005, in Volume, at Page, as Document No. 1423804. (Does not affect parcel).
26. Not survey related.
27. Not survey related.
28. Not survey related.
29. Not survey related.

REFERENCE BEARING

All bearings are referenced to the North line of the Northeast 1/4 of Section 8, T.1N., R.22E, which bears N.89°46'36"E, and is referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone.

FLOOD ZONE CERTIFICATION

To Costco Wholesale Corporation, First American Title Insurance Company:
Location - Pleasant Prairie, Wisconsin
I hereby certify that the Pleasant Prairie project, shown hereon does not lie within a special flood zone hazard zone according to Parcel 183 of the Flood Insurance Rate map No. 50509C183D dated June 19, 2012 and noted as Zone X.

SURVEYORS CERTIFICATE

STATE OF WISCONSIN }
COUNTY OF MILWAUKEE }
To: Costco Wholesale Corporation, a Washington Corporation, First American Title Company,
Location - Pleasant Prairie, Wisconsin
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6, 7a, 8, 9, 10, 11a, 13, 14, 15, 16, 17, 18, 19 and 21 of Table A thereof. The field work was completed on 5/30/14.
Date: 06-20-14

Michael J. Ratzburg S-2236

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL" SYSTEM not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

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PROJECT TITLE:
COSTCO WHOLESALE CORPORATION
WAREHOUSE
PLEASANT PRAIRIE, WISCONSIN

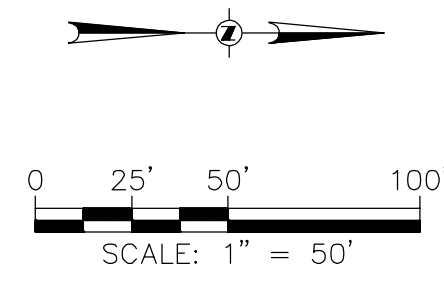
NO.	DATE	REVISIONS	ISSUE BY
	9/3/14	BID SET	JMH

PROJECT INFORMATION:

PROJECT NUMBER: 20140079.00
DATE: 09/03/14
DRAWN BY: SRK
CHECKED BY: JMH
APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: C:\00_C100\ALTA01_079

SHEET TITLE:
ALTA_ACSM LAND TITLE SURVEY

SHEET NUMBER:



94TH AVENUE

LEGEND

- - PROPOSED CATCH BASIN
- - - - CONSTRUCTION LIMITS
- SCS - STONE CONSTRUCTION ENTRANCE
- SF - SILT FENCE
- - - - TEMPORARY CONSTRUCTION FENCE (6' HEIGHT)
- S - INLET PROTECTION
- [Cross-hatched] - 8" THICK CRUSHED GRAVEL, FREE OF ORGANIC MATTER AND DEBRIS, GRADED IN ACCORDANCE WITH WISDOT 1-1/4"
- [Diagonal hatched] - 6" THICK CRUSHED GRAVEL, FREE OF ORGANIC MATTER AND DEBRIS, GRADED IN ACCORDANCE WITH WISDOT 1-1/4"
- PA - PROPERTY LINE
- S98 - EXISTING CONTOUR
- - PROPOSED CONTOUR
- - TEMPORARY DIVERSION DITCH W/ FLOC LOGS PER MANUFACTURER'S RECOMMENDATIONS

GENERAL NOTES

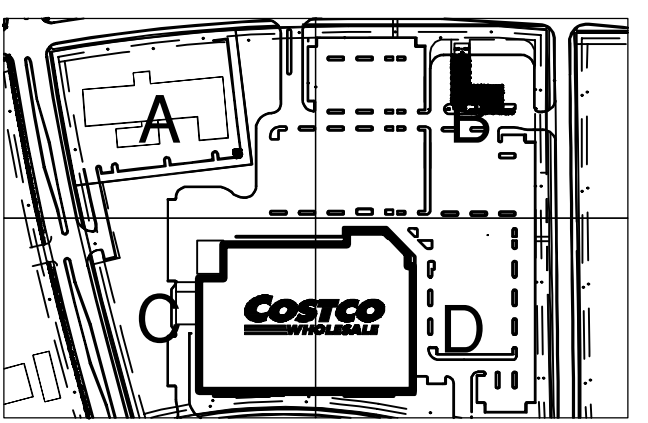
- THE BASE SURVEY WAS PREPARED BY GRAEF IN MAY 2014. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERE TO.
- REFER TO SHEET C100 FOR BENCHMARKS, ELEVATION DATUM, AND TOPOGRAPHIC ELEMENTS.
- CONTRACTOR SHALL VERIFY LOCATION OF PROPOSED WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.
- CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH LOCAL ORDINANCES FOR DUST CONTROL.
- DURING WET WEATHER, THE CONTRACTOR SHOULD TAKE MEASURES TO PROTECT THE EXPOSED SUBGRADE AND LIMIT CONSTRUCTION TRAFFIC ON EXPOSED SUBGRADE. THESE MEASURES COULD INCLUDE BUT ARE NOT LIMITED TO, PLACING A LAYER OF CRUSHED ROCK ON EXPOSED SUBGRADE OR COVERING THE EXPOSED SUBGRADE WITH A PLASTIC TARP.
- THE HOURS OF CONSTRUCTION ACTIVITY, OPERATING HEAVY MACHINERY, OR EQUIPMENT ASSOCIATED WITH THE GRADING, EROSION CONTROL DEVICE INSTALLATION, AND OVERALL SITE DEVELOPMENT SHALL BE LIMITED TO MONDAY THROUGH FRIDAY FROM 7:00AM TO 6:00PM AND SATURDAY AND SUNDAY FROM 7:00AM TO 6:00PM.
- PASSENGER VEHICLE PARKING (NO CONSTRUCTION EQUIPMENT AND NO CONSTRUCTION VEHICLES) FOR CONTRACTORS MAY BE ALLOWED TO BE PARKED ON 91ST AVENUE ONLY - AWAY FROM THE ENTRANCE TO BMO HARRIS AND THE INTERSECTIONS, NOT ON 76TH STREET, 94TH AVENUE OR PRAIRIE RIDGE BOULEVARD.

PROJECT TITLE:

COSTCO WHOLESALE CORPORATION
WAREHOUSE
PLEASANT PRAIRIE, WISCONSIN

ISSUE:

NO.	DATE	REVISIONS	BY
1	9/3/14	BID SET	JMH



VICINITY MAP

PROJECT INFORMATION:

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DRAWN BY: SRK
CHECKED BY: JMH
APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: c:\00_c200_ec_079

SHEET TITLE:

SITE EROSION CONTROL PLAN

SHEET NUMBER:

C200

C200

-FOR WINTER STABILIZATION, STABILIZE SLOPES AND EXPOSED AREAS BROUGHT TO GRADE WITH PAM-12 PLUS SOIL STABILIZER AS SOON AS POSSIBLE. DO NOT WAIT UNTIL ALL GRADING IS COMPLETE. MAINTAIN DRAINAGE TOWARDS SEDIMENTATION BASINS.
-PAVEMENT GRAVEL BASE CAN BE USED TO STABILIZE AREAS IN LIEU OF POLYMER SOIL STABILIZER.

EROSION CONTROL NOTES

- NO LAND DISTURBING CONSTRUCTION ACTIVITY MAY COMMENCE WITHOUT RECEIVING PRIOR APPROVAL OF AN EROSION AND SEDIMENT CONTROL PLAN FOR THE SITE AND A PERMIT FROM THE VILLAGE OF PLEASANT PRAIRIE.
- CONSTRUCTION SITE EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS AND THE VILLAGE OF PLEASANT PRAIRIE EROSION AND SEDIMENT CONTROL STANDARDS.
- VILLAGE OF PLEASANT PRAIRIE PERMIT CONDITIONS INCLUDE:
 - NOTIFY THE VILLAGE WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING ACTIVITY.
 - NOTIFY THE VILLAGE OF COMPLETION OF ANY BMPs WITHIN 14 BUSINESS DAYS AFTER THEIR INSTALLATION.
 - OBTAIN PERMISSION IN WRITING FROM THE VILLAGE PRIOR TO MAKING ANY MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLAN.
 - INSTALL ALL BMPs AS IDENTIFIED ON THE EROSION AND SEDIMENT CONTROL PLAN.
 - MAINTAIN ALL ROAD DRAINAGE SYSTEMS, STORMWATER DRAINAGE SYSTEMS, BMPs AND OTHER FACILITIES IDENTIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN.
 - REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DISTURBING CONSTRUCTION ACTIVITIES AND DOCUMENT REPAIRS IN WEEKLY INSPECTION REPORTS.
 - CONDUCT CONSTRUCTION SITE INSPECTIONS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5 INCHES OR GREATER. REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL BMPs AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION THAT REPAIR OR REPLACEMENT IS NEEDED. MAINTAIN, AT THE CONSTRUCTION SITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING: DATE, TIME AND LOCATION OF THE CONSTRUCTION SITE INSPECTION; THE NAME OF THE INDIVIDUAL

- WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF EROSION AND SEDIMENT CONTROLS; A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE.
- H.) ALLOW THE VILLAGE TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE CONTROL PLAN. KEEP A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN, STORMWATER MANAGEMENT PLAN, AMENDMENTS, WEEKLY INSPECTION REPORTS, AND PERMIT AT THE CONSTRUCTION SITE UNTIL PERMIT COVERAGE IS TERMINATED.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
 - CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, INSPECTION, AND MAINTENANCE OF ALL EROSION CONTROL MEASURES, AND FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
 - SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
 - FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT AS PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
 - STONE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT.

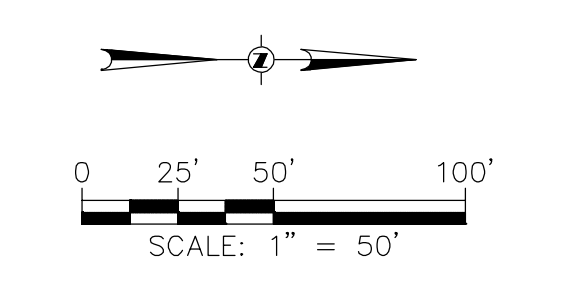
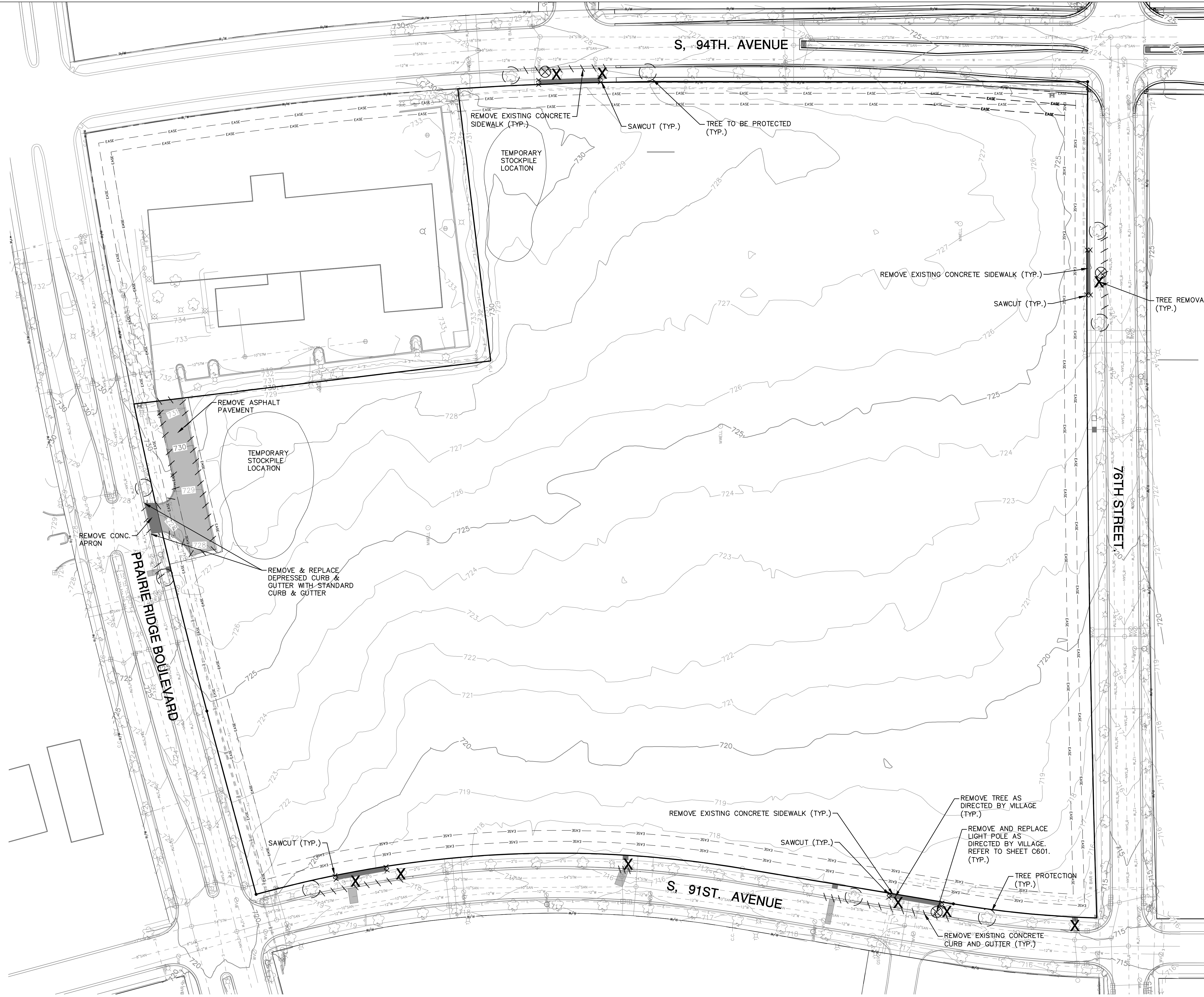
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES. NOTIFY VILLAGE OF ANY NEW STOCKPILE LOCATIONS.
- CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - INSTALL SILT FENCE.
 - INSTALL INLET PROTECTION ON EXISTING INLETS.
 - INSTALL SEDIMENTATION BASINS AND STABILIZE IMMEDIATELY WITH SEED AND EROSION MATTING.
 - INSTALL DIVERSION DITCHES TO REDIRECT RUNOFF TO SEDIMENTATION BASINS. INSTALL FLOC LOGS WITHIN DIVERSION DITCHES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - CLEAR AND GRUB SITE.
 - COMPLETE MASS EXCAVATION AND ROUGH GRADING ACTIVITIES:
 - STRIP EXISTING TOPSOIL, STOCK PILE, STABILIZE, AND INSTALL SILT FENCE AROUND STOCKPILE.
 - PROCEED WITH ROUGH GRADING.
 - FOR WINTER STABILIZATION, STABILIZE SLOPES AND EXPOSED AREAS BROUGHT TO GRADE WITH PAM-12 PLUS SOIL STABILIZER AS SOON AS POSSIBLE. DO NOT WAIT UNTIL ALL GRADING IS COMPLETE. MAINTAIN DRAINAGE TOWARDS SEDIMENTATION BASINS.
 - PAVEMENT GRAVEL BASE CAN BE USED TO STABILIZE AREAS IN LIEU OF POLYMER SOIL STABILIZER.
 - INSTALL UTILITIES AND INLET PROTECTION ON PROPOSED INLETS. INSTALL FLOC LOGS WITHIN INLETS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - INSTALL PAVEMENT GRAVEL BASE.
 - FILL TEMPORARY SEDIMENTATION BASINS ONLY AFTER CONTRIBUTING DRAINAGE AREA IS STABILIZED AND WHEN REGIONAL STORMWATER POND IS CONSTRUCTED AND FUNCTIONAL.
 - PAVE ROADWAYS AND PARKING LOT.

- CONSTRUCT BUILDING.
- INSTALL LANDSCAPING ON COMPLETED SITE WITHIN 7 DAYS OF COMPLETING CONSTRUCTION.
- REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED AS APPROVED BY THE ENGINEER.
- SITE DEWATERING, WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE VILLAGE, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICE SPECIFIED IN THE WDNR SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. NOTIFY THE VILLAGE OF ANY CHANGES IN THE STONE CONSTRUCTION ENTRANCE LOCATIONS.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE THE WORK DAY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND

- MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER 15TH. IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDING AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY EITHER CRIMPING OR BY APPLYING A TACKIFIER.
- PERMANENT SEED MIX SHALL BE WISDOT SEED MIX NO. 40 AT 7 POUNDS PER 1000 SQUARE FEET.
- USE ANNUAL RYE SEED MIX AT 100 POUNDS PER ACRE AS A TEMPORARY SEED MIX. PERMANENT SEEDING SHALL FOLLOW WITHIN ONE YEAR. IF TEMPORARY SEEDING IS NOT ESTABLISHED BY OCTOBER 15TH, USE CLASS I TYPE B MATTING ON ALL SLOPES 4:1 OR STEEPER.
- FOR WINTER STABILIZATION, STABILIZE SITE WITH EITHER PAM-12 PLUS SOIL STABILIZER OR PAVEMENT GRAVEL BASE IN AREAS WHERE TEMPORARY OR PERMANENT SEEDING IS NOT ESTABLISHED.
- SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILE. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
- KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.

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LEGEND

- X - TREE REMOVAL AND REPLACEMENT PER VILLAGE
- ⊗ - LIGHT POLE REMOVAL AND REPLACEMENT PER VILLAGE
- XX - SAWCUT EXISTING PAVEMENT
- - TREE PROTECTION FENCING
- ▨ - REMOVE EXISTING CONCRETE AND GUTTER CURB
- ▩ - REMOVE EXISTING CONCRETE SIDEWALK
- ▧ - REMOVE EXISTING ASPHALT PAVEMENT

REMOVAL NOTES

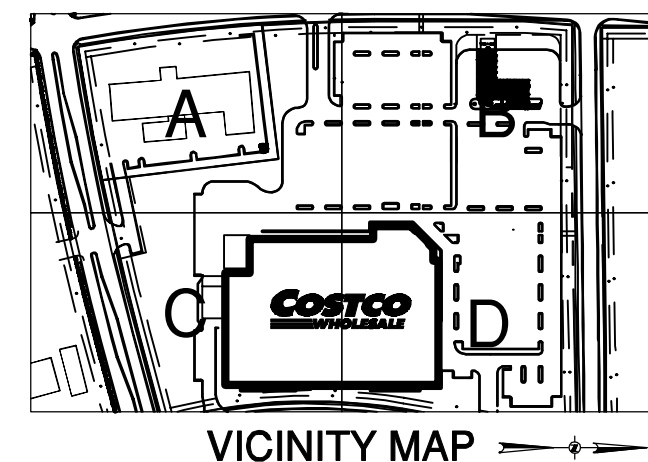
1. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR REMOVAL. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
2. ASPHALT PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
3. CONCRETE CURB AND GUTTER AND SIDEWALK NOTED FOR REMOVAL SHALL BE REMOVED AT THE NEAREST JOINT.
4. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
5. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH LOCAL ORDINANCES FOR DUST CONTROL.
6. CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNERS REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
7. TREE PROTECTION FENCING LOCATIONS SHOWN ARE APPROXIMATE. ALL EXISTING TREES OUTSIDE OF GRADING LIMITS ARE INTENDED TO REMAIN. FINAL LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD AND AS IDENTIFIED ON CONSTRUCTION DETAILS. ADDITIONAL FENCING MAY BE REQUIRED. COORDINATE WITH OWNER'S REPRESENTATIVE. TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
8. EXISTING CURB AND GUTTER REMOVAL/REPLACEMENT FOR PUBLIC ROADWAY SHALL BE TO THE NEAREST JOINT AND SHALL BE CONSTRUCTED TO VILLAGE SPECIFICATIONS.

GENERAL NOTES

1. UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON FIELD SURVEY. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET C100 FOR BENCHMARKS, ELEVATION DATUM, AND TOPOGRAPHIC ELEMENTS.
3. REFER TO OFF-SITE IMPROVEMENTS SHEET C601 FOR VILLAGE OF PLEASANT PRAIRIE LIGHT POLE RELOCATIONS.

PROJECT TITLE:
COSTCO WHOLESALE CORPORATION
WAREHOUSE
PLEASANT PRAIRIE, WISCONSIN

NO. DATE		ISSUE:	
NO.	DATE	REVISIONS	BY
	9/3/14	BID SET	JMH



PROJECT INFORMATION:

PROJECT NUMBER: 20140079.00
DATE: 09/03/14
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SHEET TITLE:

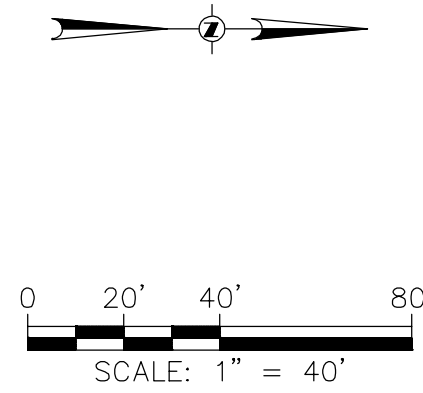
SITE DEMOLITION PLAN

SHEET NUMBER:

C201

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LAYOUT NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE.
2. STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.

GENERAL NOTES

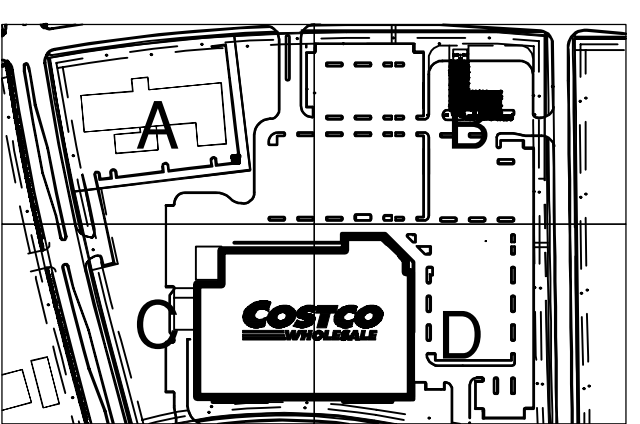
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2. REFER TO SHEET C100 FOR BENCHMARKS, ELEVATION DATUM, AND TOPOGRAPHIC ELEMENTS.
3. REFER TO THE FUEL FACILITY PLAN SET FOR WORK WITHIN THE FUEL FACILITY WORK LIMITS.
4. REFER TO SHEET C310 FOR DETAILED PAVEMENT MARKINGS AND SIGNAGE.

LEGEND

- POTENTIAL SNOW STORAGE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED HIGHSIDE CONCRETE CURB AND GUTTER
- PROPOSED PROPERTY LINE
- PROPOSED ADA RAMP WITH TRUNCATED DOMES

PROJECT TITLE:
COSTCO WHOLESALE CORPORATION
WAREHOUSE
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NO. DATE REVISIONS BY
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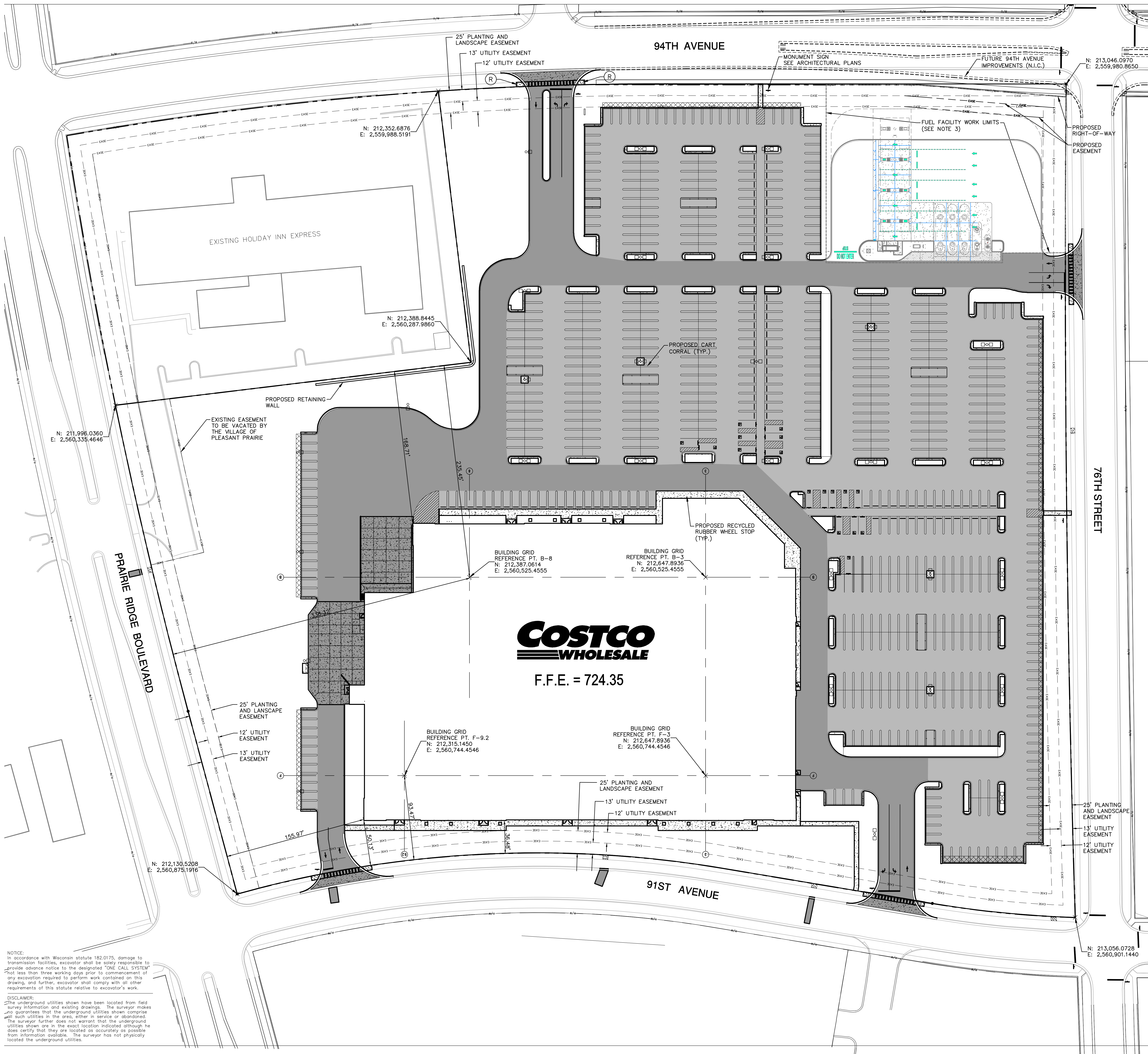


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CHECKED BY: JMH
APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: C:\00_C300_LV\SITE\LAY\079

SHEET TITLE:
OVERALL LAYOUT PLAN




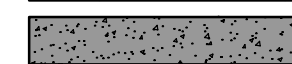
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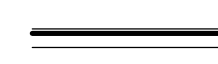




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LEGEND

-  -PROPOSED ASPHALT PAVEMENT
-  -PROPOSED HEAVY DUTY ASPHALT PAVEMENT
-  -PROPOSED CONCRETE SIDEWALK
-  -PROPOSED CONCRETE PAVEMENT

-  -PROPOSED CONCRETE CURB AND GUTTER
-  -PROPOSED HIGHSIDE CONCRETE CURB AND GUTTER
-  -PROPOSED PROPERTY LINE
-  -PROPOSED ADA RAMP WITH TRUNCATED DOMES

LAYOUT NOTES

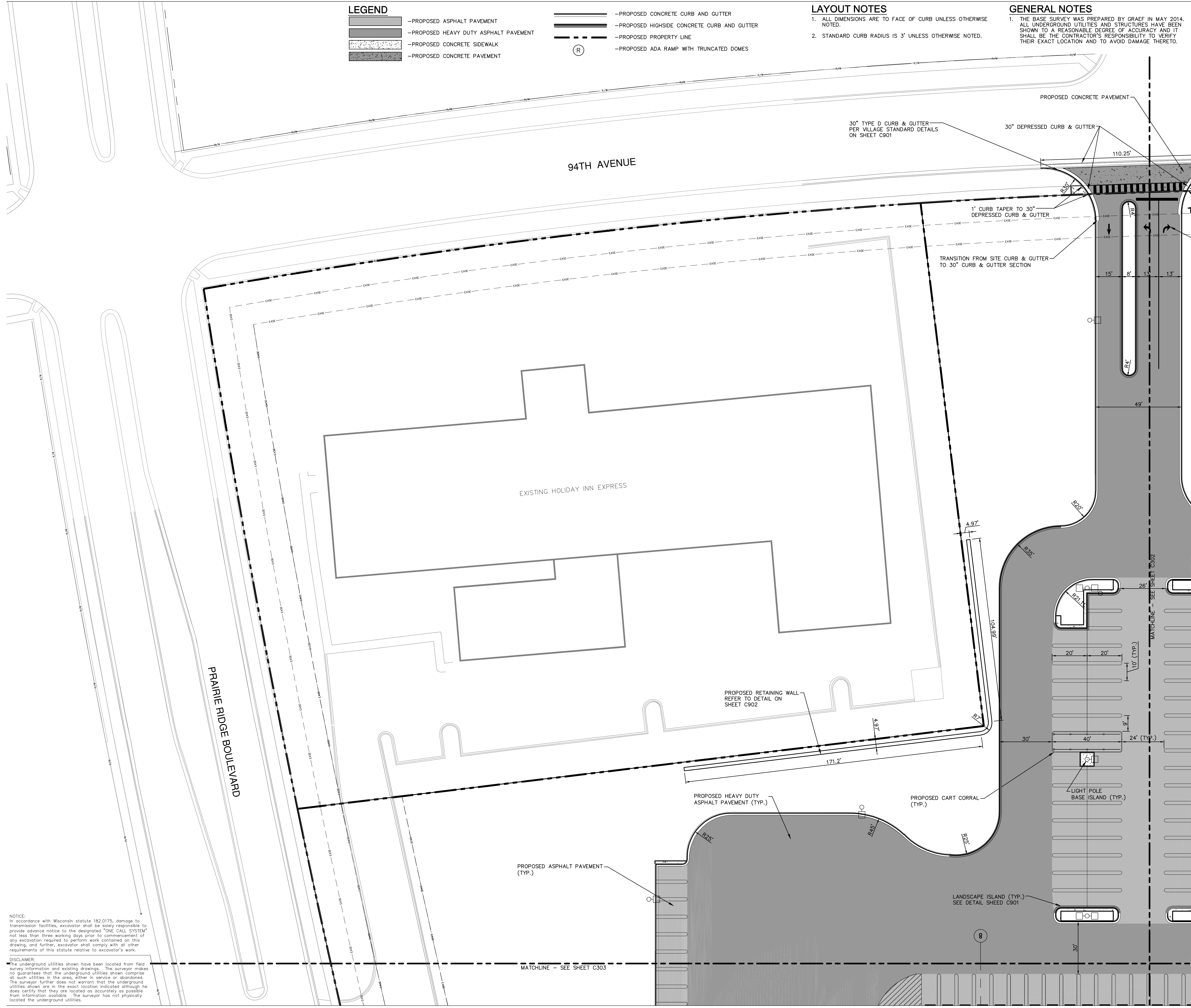
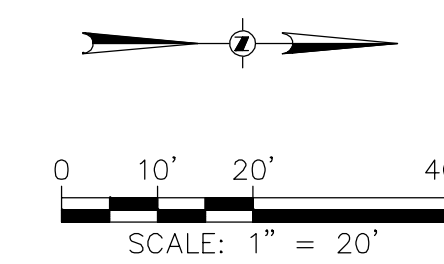
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
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GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN MAY 2014. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.

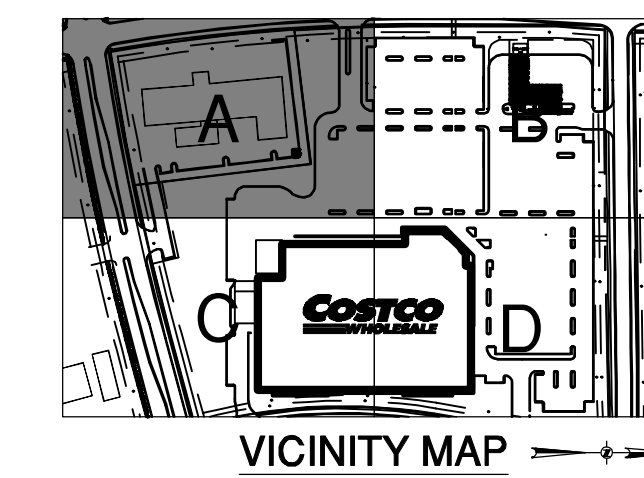


One Honey Creek Corporate Center
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 Milwaukee, WI 53214-1469
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 www.graef-usa.com



PROJECT TITLE:
 COSTCO WHOLESALE CORPORATION
 WAREHOUSE
 PLEASANT PRAIRIE, WISCONSIN

ISSUE:		BY
NO.	DATE	REVISIONS
	9/3/14	BID SET
		JMH



PROJECT INFORMATION:
 PROJECT NUMBER: 20140079.00
 DATE: 09/03/14
 DRAWN BY: SRK
 CHECKED BY: JMH
 APPROVED BY: TMF
 SCALE: AS NOTED
 FILE PATH: C:\00_C301-C304_SITELAYOUT_079

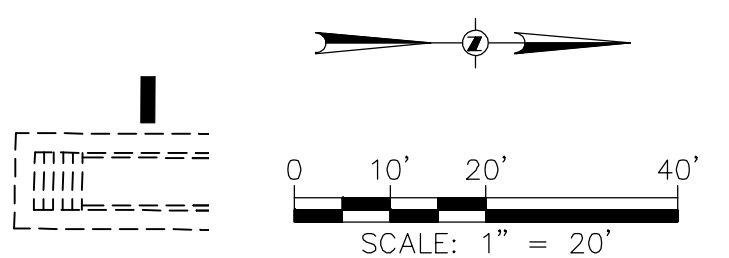
SHEET TITLE:
 DETAILED LAYOUT PLAN - AREA A

SHEET NUMBER:

C301

NOTICE:
 In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
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LEGEND

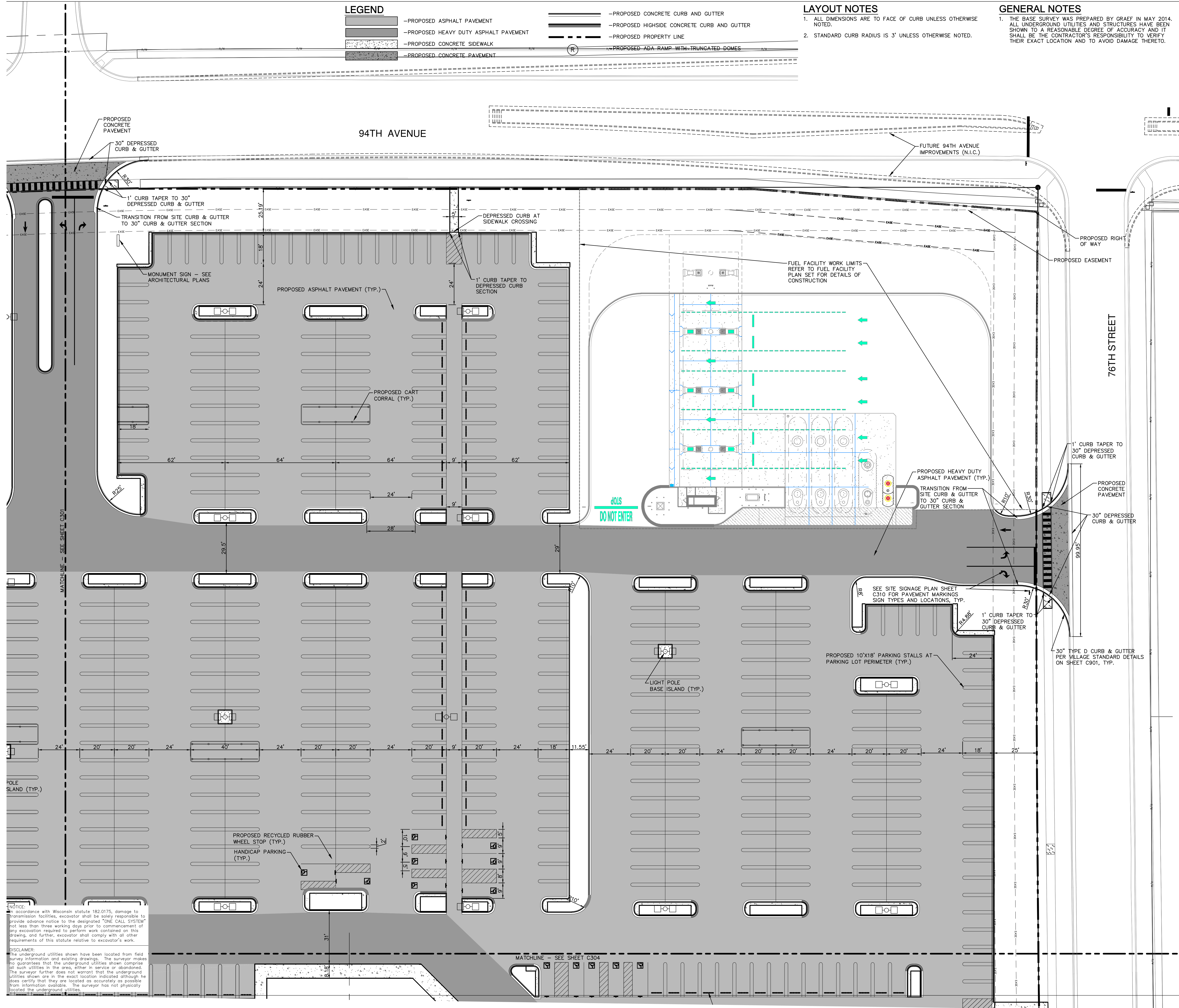
- PROPOSED ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED HIGHSIDE CONCRETE CURB AND GUTTER
- PROPOSED PROPERTY LINE
- PROPOSED ADA RAMP WITH TRUNCATED DOMES

LAYOUT NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. STANDARD CURB RADIUS IS 3' UNLESS OTHERWISE NOTED.

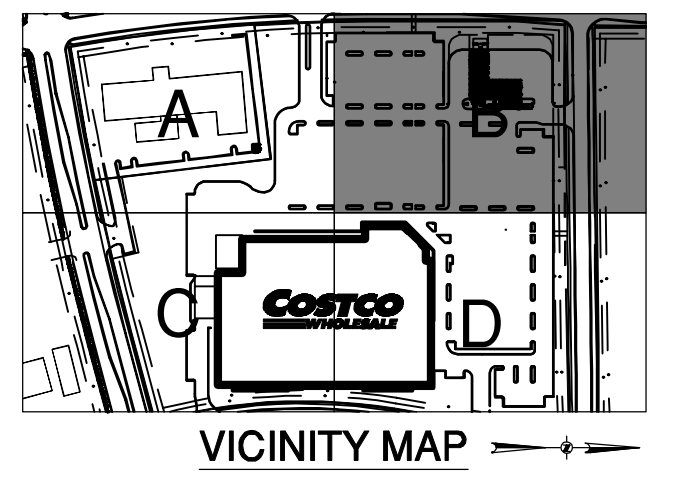
GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN MAY 2014. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.



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 WAREHOUSE
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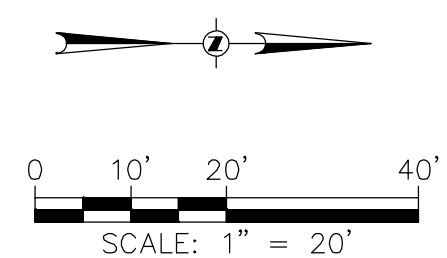
PROJECT INFORMATION:
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 FILE PATH: C:\00_C301-C304_SITELAYOUT_079

SHEET TITLE:
 DETAILED LAYOUT PLAN - AREA B

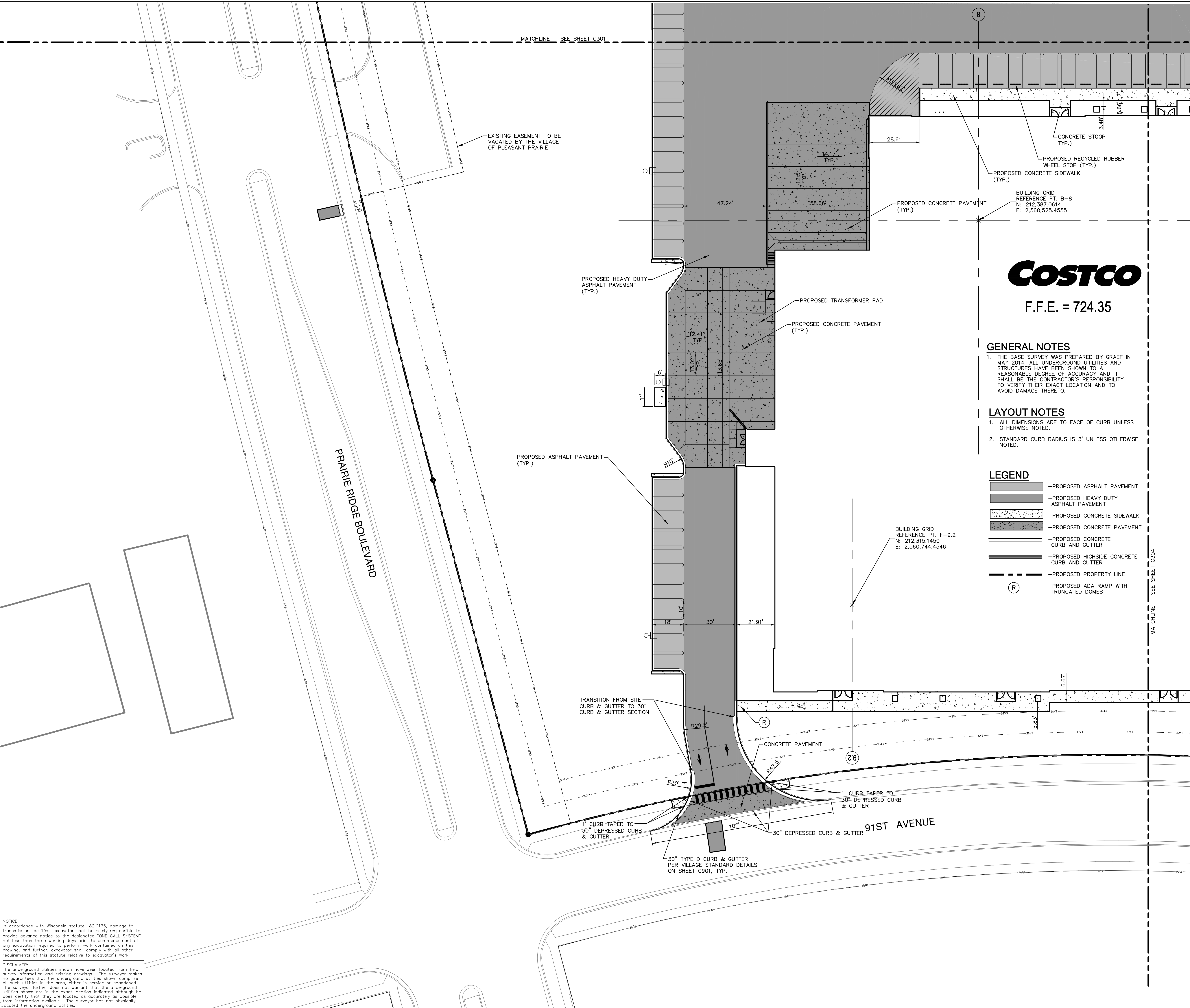
SHEET NUMBER:

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MATCHLINE - SEE SHEET C301



COSTCO
 F.F.E. = 724.35

GENERAL NOTES

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LAYOUT NOTES

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 2. STANDARD CURB RADIUS IS 3' UNLESS OTHERWISE NOTED.

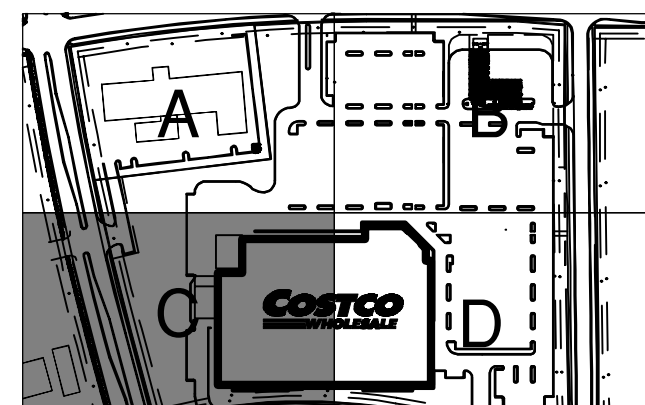
LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED HIGHSIDE CONCRETE CURB AND GUTTER
- PROPOSED PROPERTY LINE
- PROPOSED ADA RAMP WITH TRUNCATED DOMES

BUILDING GRID
 REFERENCE PT. F-9.2
 N: 212,315,1450
 E: 2,560,744.4546

PROJECT TITLE:
 COSTCO WHOLESALE CORPORATION
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 PLEASANT PRAIRIE, WISCONSIN

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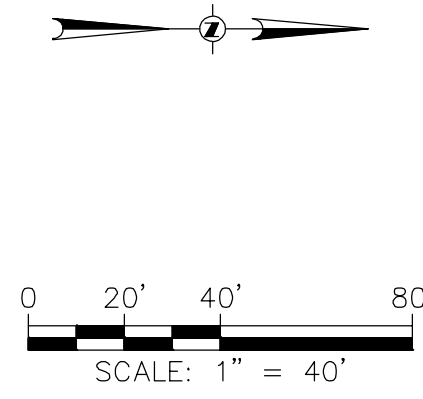
PROJECT NUMBER: 20140079.00
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 DRAWN BY: SRK
 CHECKED BY: JMH
 APPROVED BY: TMF
 SCALE: AS NOTED
 FILE PATH: C:\00_C301-C304_SITELAYOUT_079

SHEET TITLE:
 DETAILED LAYOUT PLAN - AREA C

SHEET NUMBER:

NOTICE:
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LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED HIGHSIDE CONCRETE CURB & GUTTER
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED ADA RAMP WITH TRUNCATED DOMES

GENERAL NOTES

1. UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON FIELD SURVEY. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET C100 FOR BENCHMARKS, ELEVATION DATUM, AND TOPOGRAPHIC ELEMENTS.
3. REFER TO THE FUEL FACILITY PLAN SET FOR WORK WITHIN THE FUEL FACILITY WORK LIMITS

GRADING NOTES

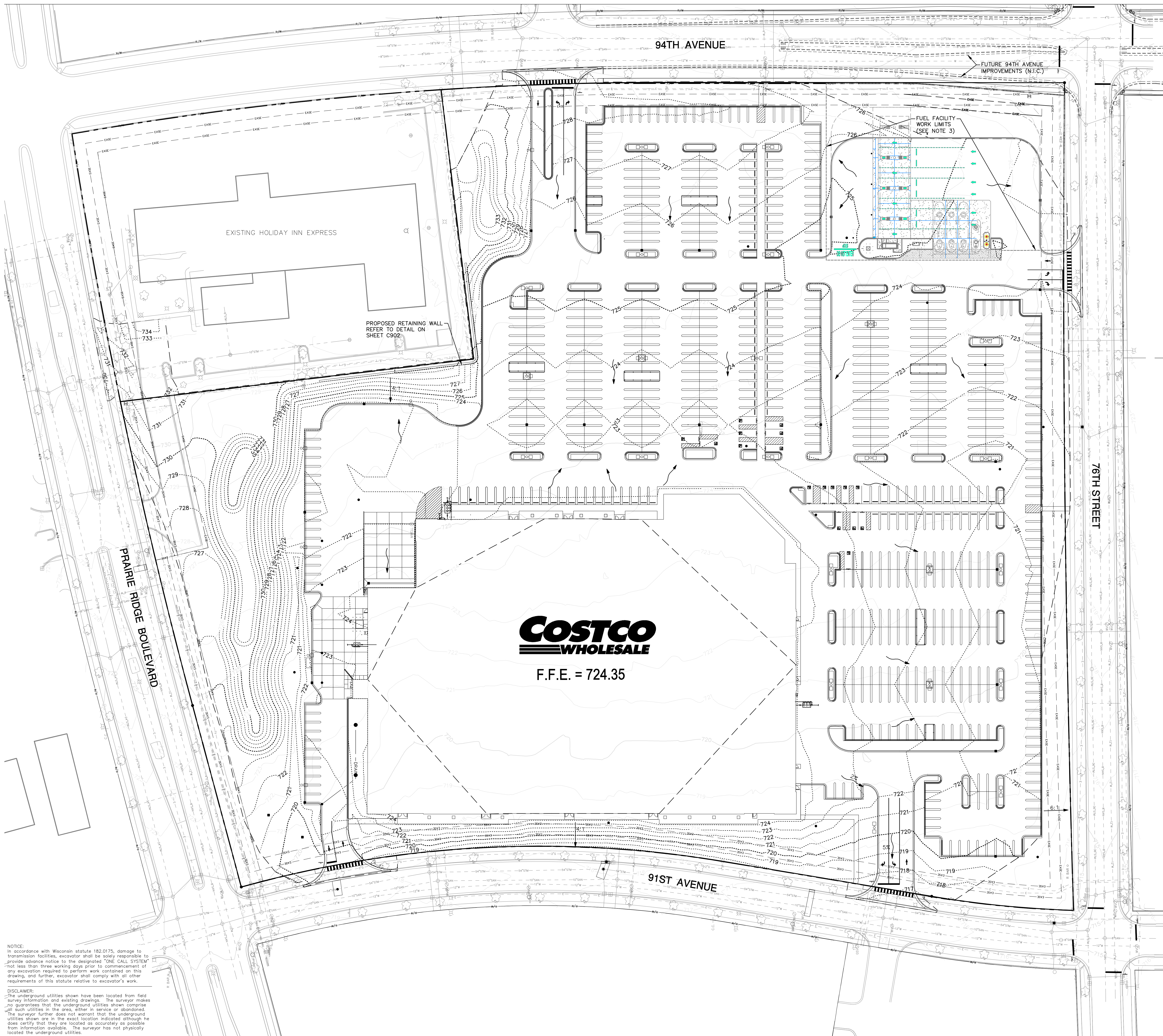
1. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
2. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
3. EROSION MATTING SHALL BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER.

PROJECT TITLE:

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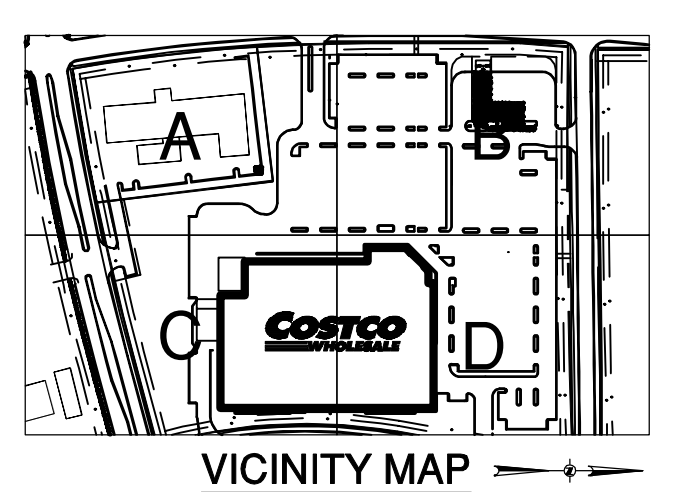


COSTCO
WHOLESALE

F.F.E. = 724.35

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SHEET TITLE:

OVERALL GRADING PLAN

SHEET NUMBER:

C400

LEGEND

- PROPOSED PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STM- -STM- PROPOSED STORM SEWER
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED HIGHSIDE CONCRETE CURB & GUTTER
- PROPOSED MANHOLE
- PROPOSED STORM INLET
- 725.42 / 725.00 PROPOSED TOP OF CURB ELEVATION / PROPOSED FLANGE ELEVATION
- 722.51 PROPOSED SPOT GRADE
- 723.00 / 722.00 PROPOSED FINISHED GRADE AT TOP OF WALL / PROPOSED FINISHED GRADE AT BOTTOM OF WALL

GENERAL NOTES

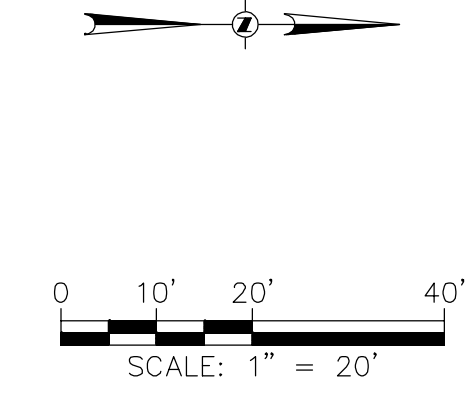
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GRADING NOTES

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2. RIM ELEVATIONS IN CURB AND GUTTER ARE FLOWLINE/GUTTER GRADES.
3. EROSION MATTING SHALL BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER.

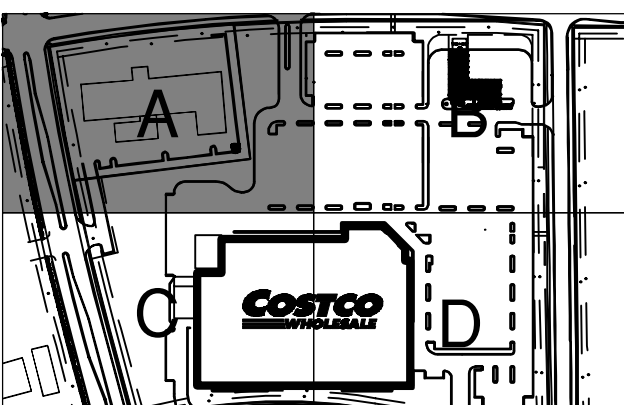


One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1469
414 / 259 1500
414 / 259 0037 fax
www.graef-usa.com



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SCALE: AS NOTED
FILE PATH: C:\00_C401-C404_GRADING_079

SHEET TITLE:
DETAILED GRADING PLAN - AREA A

SHEET NUMBER:
C401

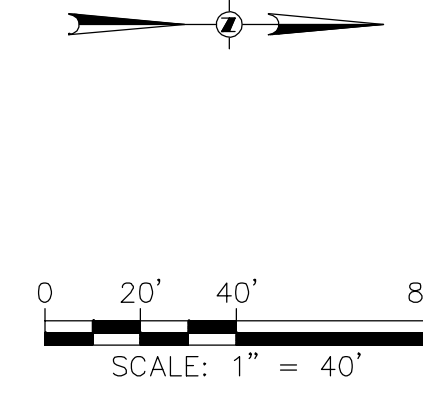
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MATCHLINE - SEE SHEET C403

LIGHT POLE BASE ISLANDS ARE TYPICAL SIX-INCH CURB HEIGHT AROUND

RIM EL. 722.51



LEGEND

- PROPOSED PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STM
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED HIGHSIDE CONCRETE CURB & GUTTER
- PROPOSED MANHOLE
- PROPOSED STORM INLET
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLANGE ELEVATION
- PROPOSED SPOT GRADE
- PROPOSED FINISHED GRADE AT TOP OF WALL
- PROPOSED FINISHED GRADE AT BOTTOM OF WALL

GENERAL NOTES

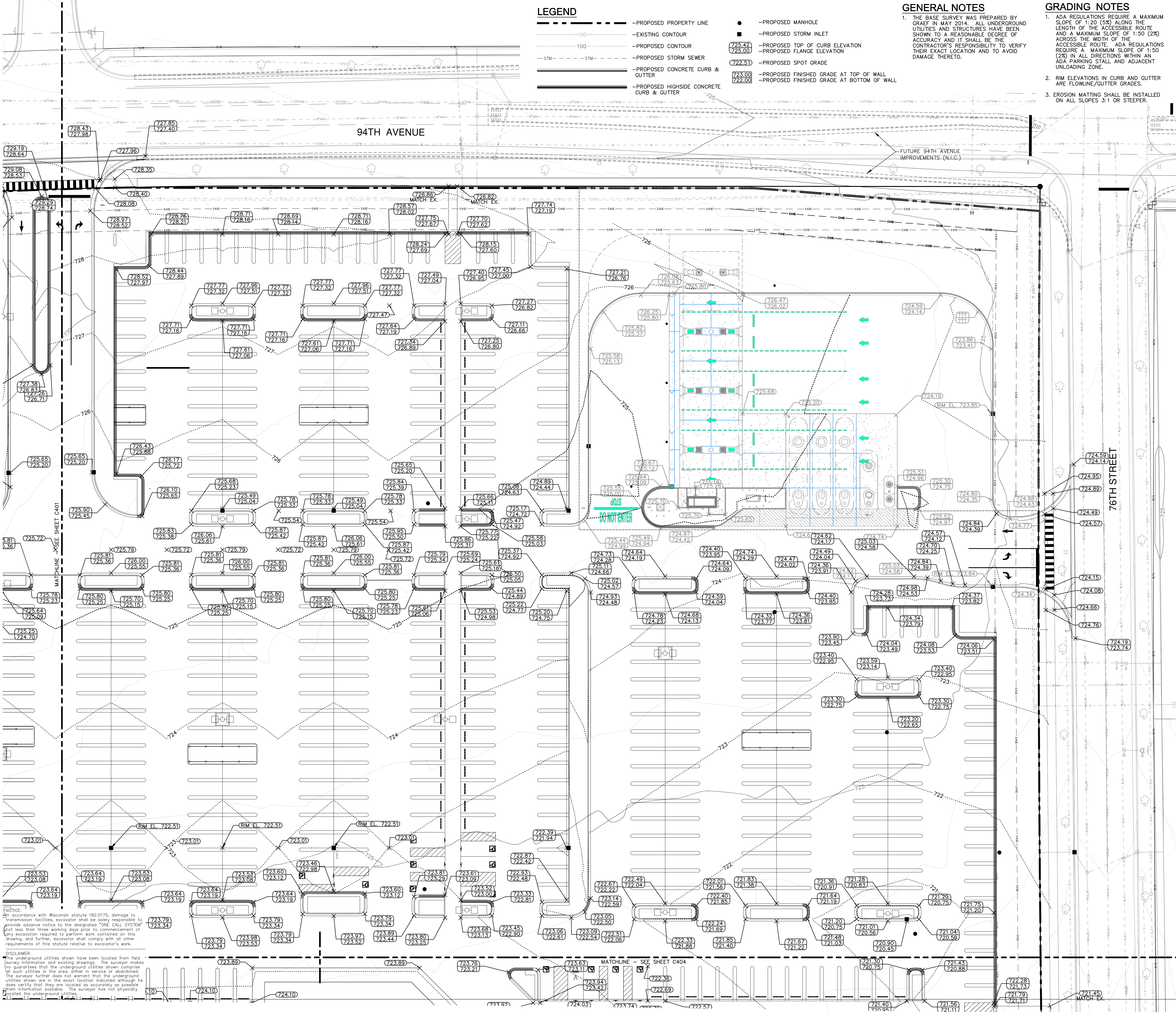
- THE BASE SURVEY WAS PREPARED BY GRAEF IN MAY 2014. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.

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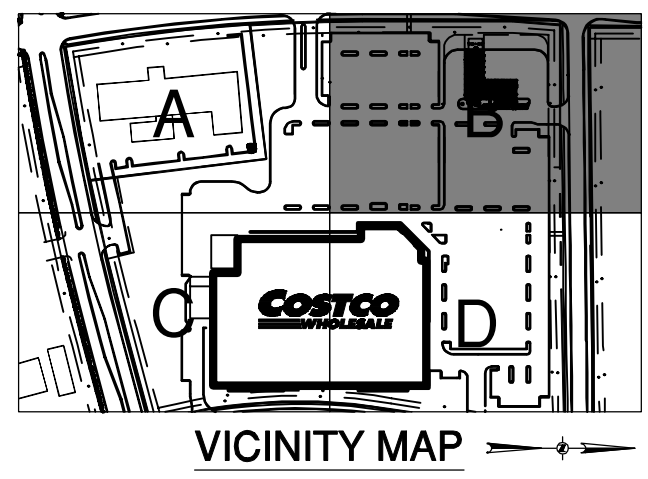
GENERAL NOTES

- THE BASE SURVEY WAS PREPARED BY THE SIGMA GROUP ON MAY 30, 2014. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
- A PERMIT SET SUBMITTAL WILL BE MADE TO THE VILLAGE PRIOR TO CONSTRUCTION TO PROVIDE REVIEW OF EROSION CONTROL, TREE REMOVALS, AND DETAILED UTILITY DESIGNS.



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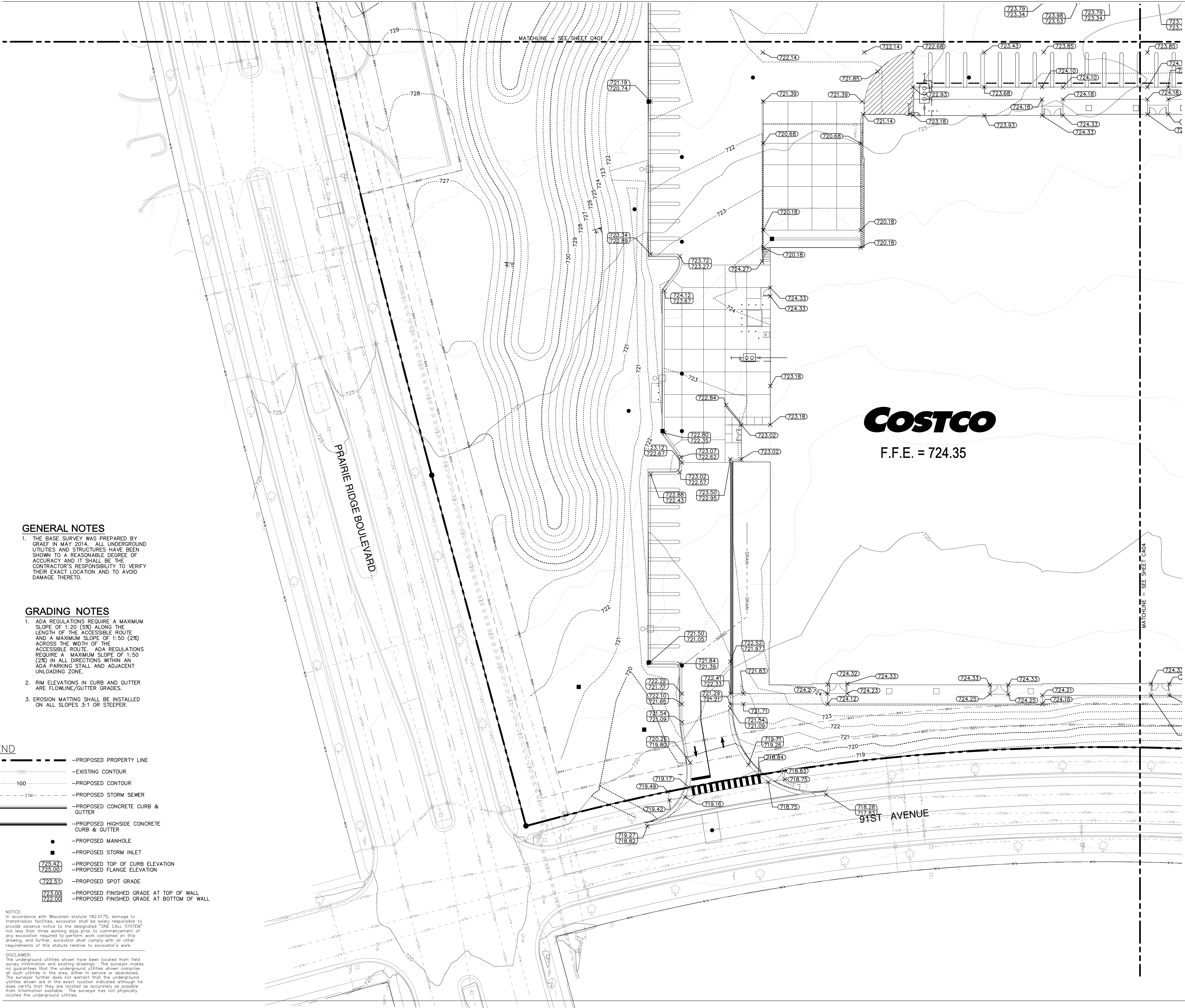
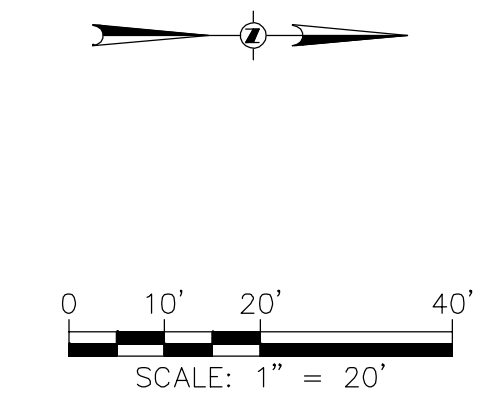
PROJECT INFORMATION:
PROJECT NUMBER: 20140079.00
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SCALE: AS NOTED
FILE PATH: C:\00_C401-C404_GRADING_079

SHEET TITLE:
DETAILED GRADING PLAN - AREA B

SHEET NUMBER:

NOTICE: In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

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LEGEND

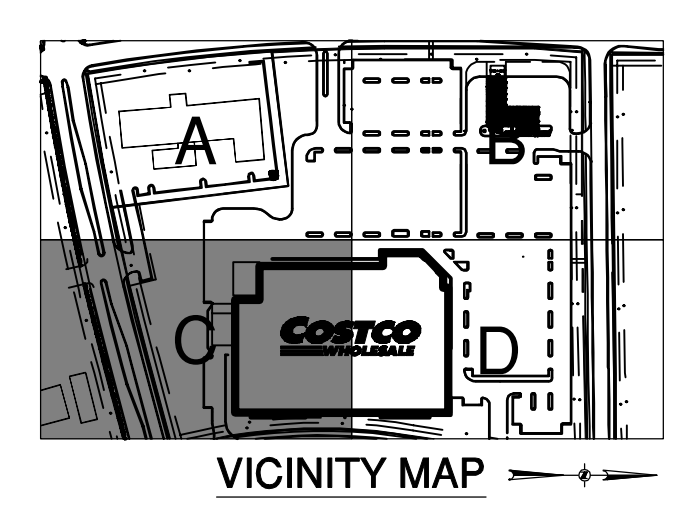
- PROPOSED PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM SEWER
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED HIGHSIDE CONCRETE CURB & GUTTER
- PROPOSED MANHOLE
- PROPOSED STORM INLET
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLANGE ELEVATION
- PROPOSED SPOT GRADE
- PROPOSED FINISHED GRADE AT TOP OF WALL
- PROPOSED FINISHED GRADE AT BOTTOM OF WALL

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WAREHOUSE
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SCALE: AS NOTED
FILE PATH: C:\00_C401-C404_GRADING_079

SHEET TITLE:
DETAILED GRADING PLAN - AREA C

SHEET NUMBER:

LEGEND

- PROPOSED PROPERTY LINE
- STM- - - - - PROPOSED STORM SEWER
- DRAIN- - - - - PROPOSED UNDER DRAIN
- PROPOSED MANHOLE
- PROPOSED STORM INLET

GENERAL NOTES

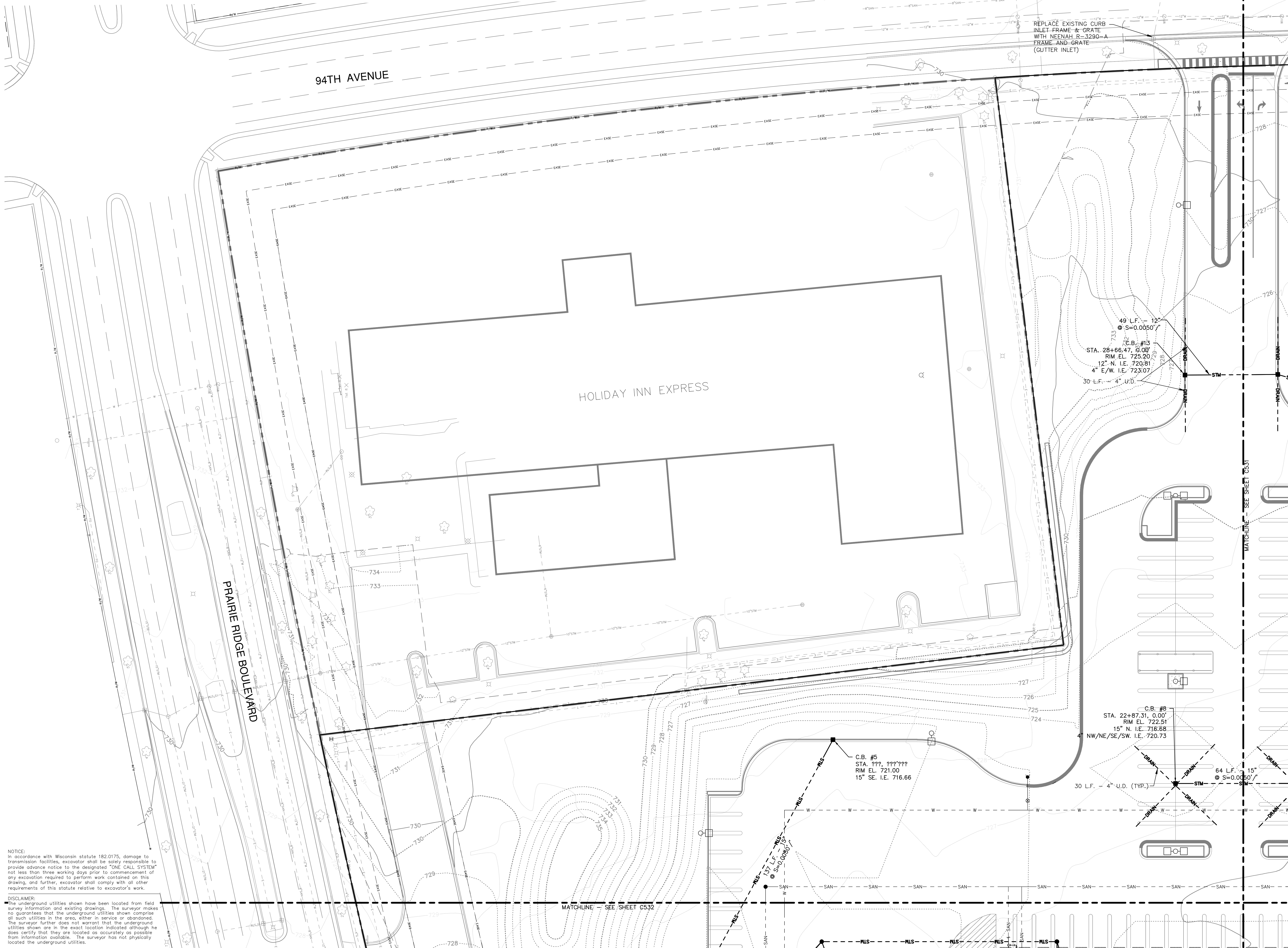
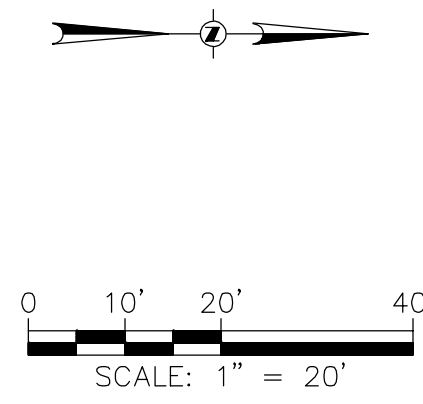
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2. UTILITY TRENCHES LOCATED IN PUBLIC ROADWAYS AND WITHIN 5- FEET OF ROADWAY PAVEMENT SHALL BE BACKFILLED WITH SURRY. APPROPRIATE BACKFILL REQUIREMENT NOTE(S) SHALL BE INCLUDED IN PLANS.
3. CONTRACTORS SHALL CONTACT THE VILLAGE ENGINEERING DEPARTMENT (262-948-8951) TO SCHEDULE INSPECTIONS OF ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY 48-HOURS IN ADVANCE.

UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR TO STUB LATERALS TO 5 FEET OUTSIDE OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION OF PIPING INSIDE OF BUILDING BY PLUMBING CONTRACTOR.
3. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
4. STORM SEWER AND ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
5. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
6. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
7. CENTER OF CURB INLET SYMBOL IS LOCATED AT FACE OF CURB. SHALL BE CONTRACTORS RESPONSIBILITY TO ALIGN CASTING AND CENTER OF STRUCTURE WITH FACE OF CURB.
8. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
9. ALL MANHOLES AND CATCH BASIN-MANHOLES SHALL BE 48" DIAMETER UNLESS OTHERWISE NOTED.

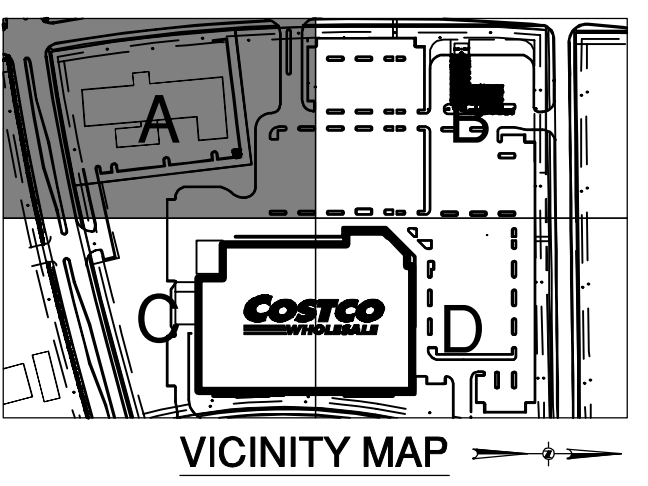


One Honey Creek Corporate Center
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 FILE PATH: C:\00_C530-C533_STORM\079

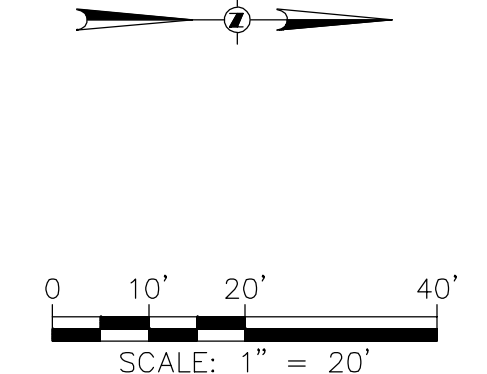
SHEET TITLE:
 DETAILED STORM SEWER PLAN -
 AREA A

SHEET NUMBER:

C530

NOTICE:
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LEGEND

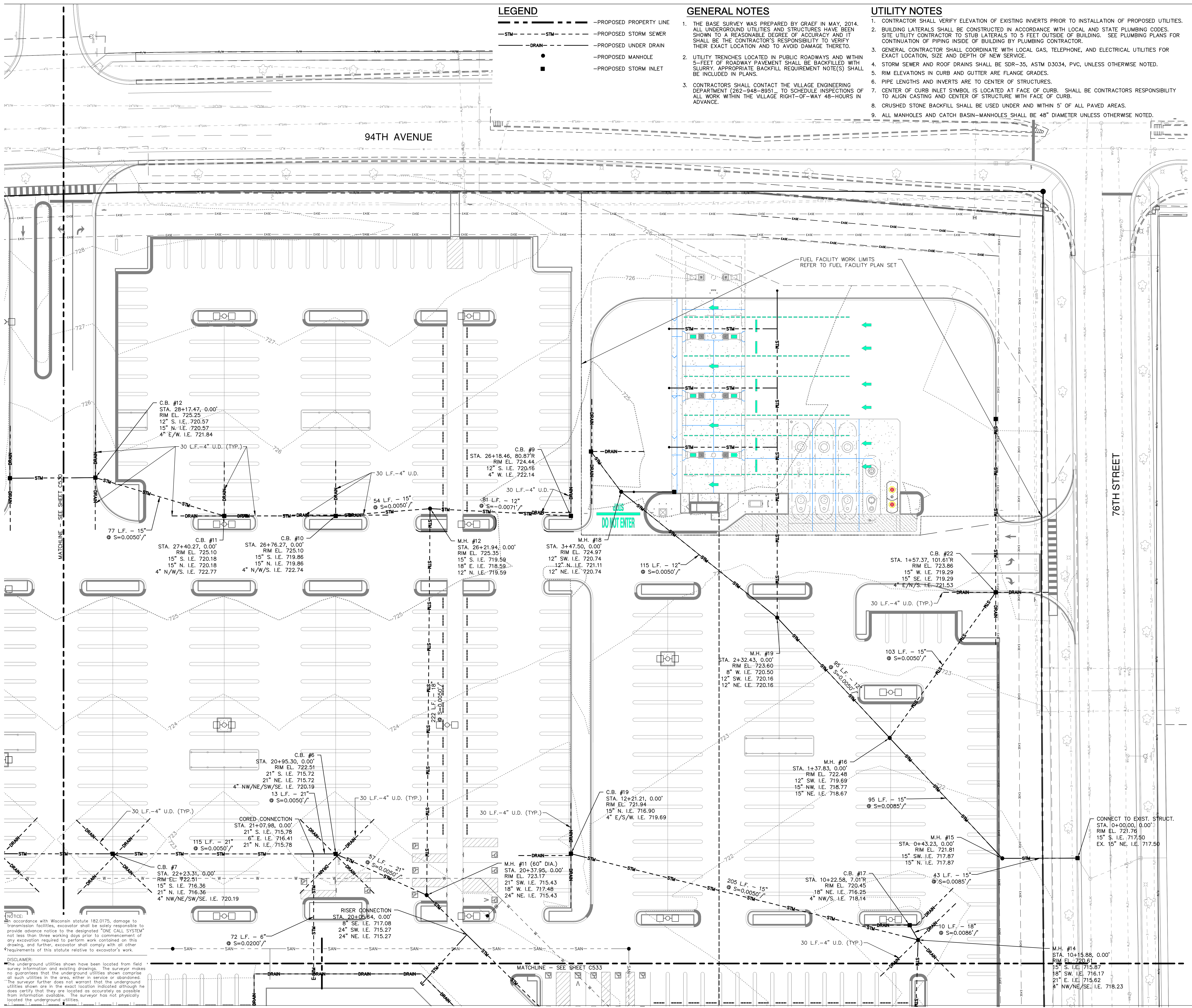
- PROPOSED PROPERTY LINE
- PROPOSED STORM SEWER
- PROPOSED UNDER DRAIN
- PROPOSED MANHOLE
- PROPOSED STORM INLET

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN MAY, 2014. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. UTILITY TRENCHES LOCATED IN PUBLIC ROADWAYS AND WITHIN 5- FEET OF ROADWAY PAVEMENT SHALL BE BACKFILLED WITH SLURRY. APPROPRIATE BACKFILL REQUIREMENT NOTE(S) SHALL BE INCLUDED IN PLANS.
3. CONTRACTORS SHALL CONTACT THE VILLAGE ENGINEERING DEPARTMENT (262-948-8951) TO SCHEDULE INSPECTIONS OF ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY 48-HOURS IN ADVANCE.

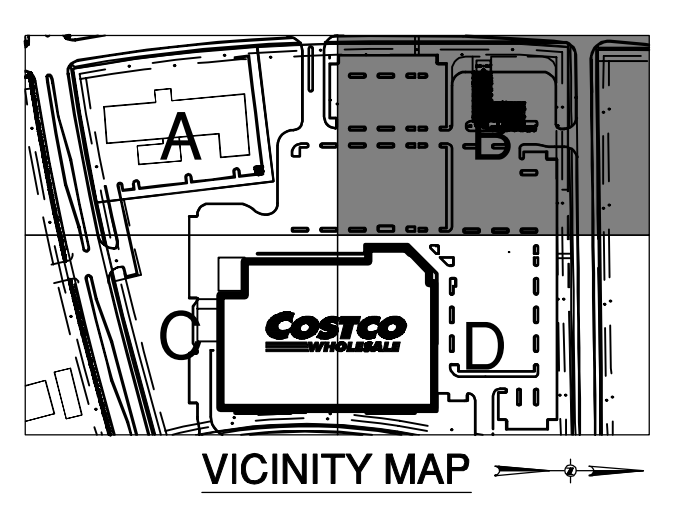
UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR TO STUB LATERALS TO 5 FEET OUTSIDE OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION OF PIPING INSIDE OF BUILDING BY PLUMBING CONTRACTOR.
3. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
4. STORM SEWER AND ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
5. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
6. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
7. CENTER OF CURB INLET SYMBOL IS LOCATED AT FACE OF CURB. SHALL BE CONTRACTORS RESPONSIBILITY TO ALIGN CASTING AND CENTER OF STRUCTURE WITH FACE OF CURB.
8. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
9. ALL MANHOLES AND CATCH BASIN-MANHOLES SHALL BE 48" DIAMETER UNLESS OTHERWISE NOTED.



PROJECT TITLE:
COSTCO WHOLESALE CORPORATION
WAREHOUSE
PLEASANT PRAIRIE, WISCONSIN

NO.	DATE	REVISIONS	BY
	9/3/14	BID SET	JMH



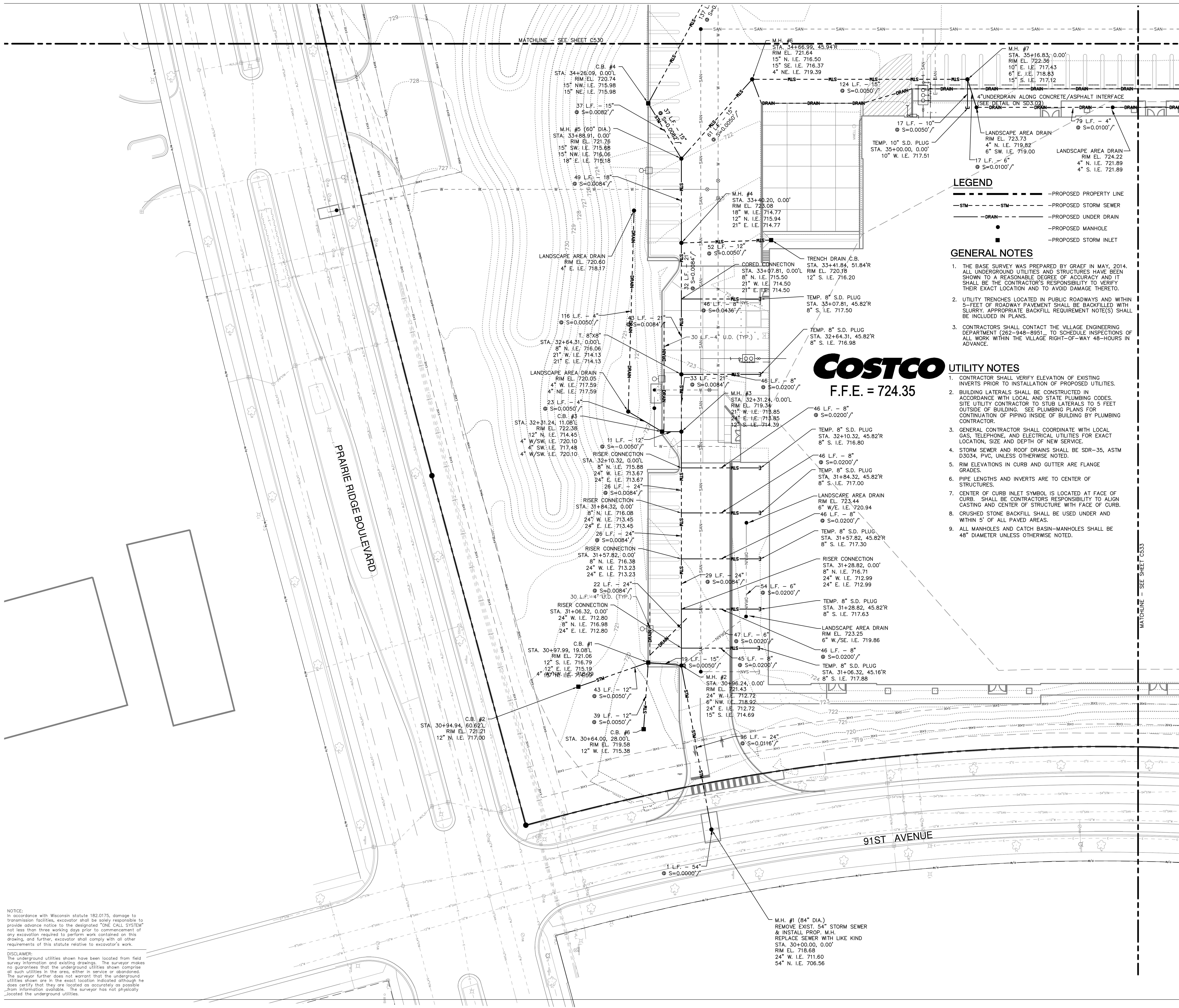
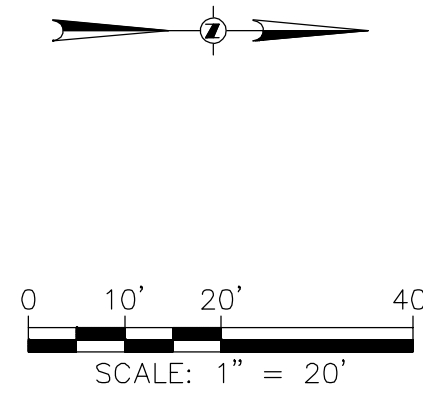
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DATE: 09/03/14
DRAWN BY: SRK
CHECKED BY: JMH
APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: C:\00_C530-C533_STORM_079

SHEET TITLE:
DETAILED STORM SEWER PLAN -
AREA B

SHEET NUMBER:
C531

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
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- LEGEND**
- PROPOSED PROPERTY LINE
 - STM --- PROPOSED STORM SEWER
 - DRAIN --- PROPOSED UNDER DRAIN
 - PROPOSED MANHOLE
 - PROPOSED STORM INLET

- GENERAL NOTES**
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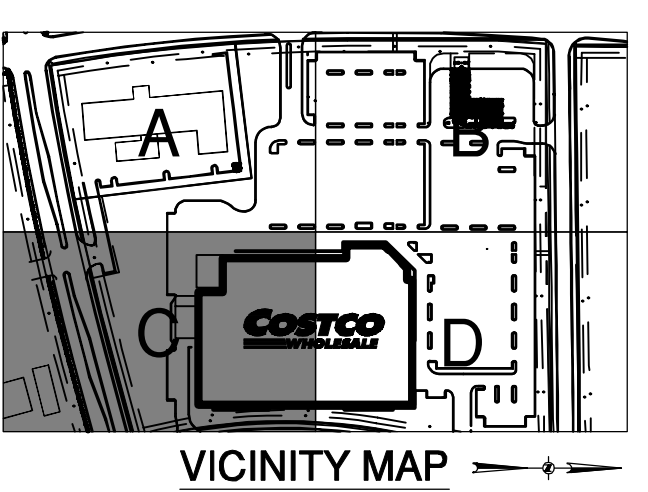
Costco UTILITY NOTES

- F.F.E. = 724.35**
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PROJECT TITLE:
COSTCO WHOLESALE CORPORATION
WAREHOUSE
PLEASANT PRAIRIE, WISCONSIN

ISSUE:

NO.	DATE	REVISIONS	BY
	9/3/14	BID SET	JMH



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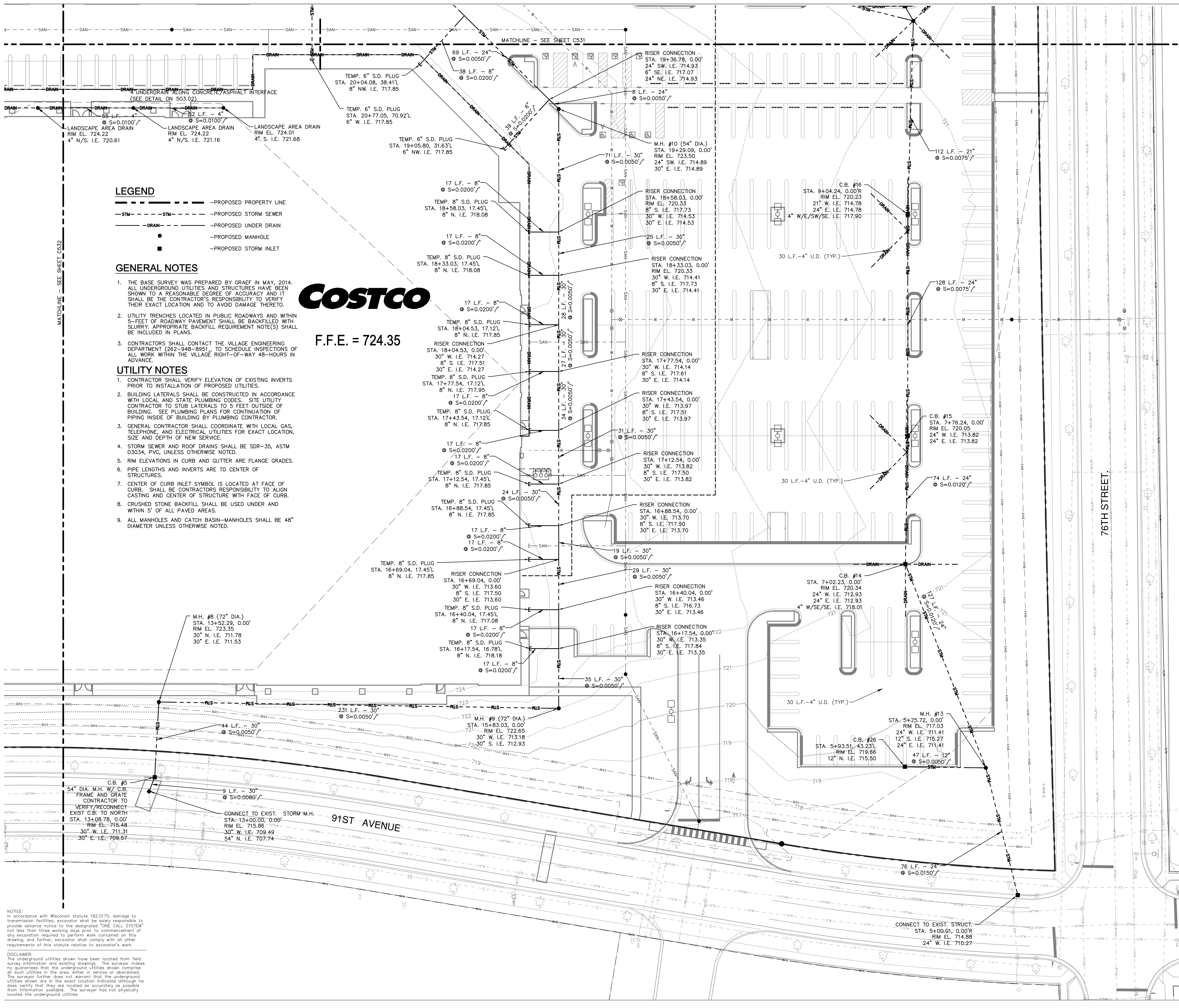
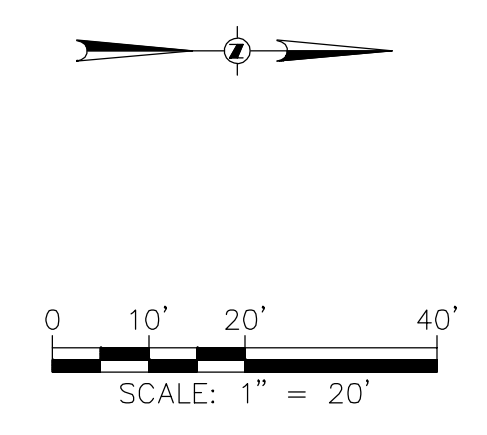
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CHECKED BY: JMH
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SCALE: AS NOTED
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SHEET TITLE:
DETAILED STORM SEWER PLAN -
AREA C

SHEET NUMBER:

NOTICE:
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LEGEND

---	--- PROPOSED PROPERTY LINE
-STM-	-STM- PROPOSED STORM SEWER
-DRAIN-	-DRAIN- PROPOSED UNDER DRAIN
●	● PROPOSED MANHOLE
■	■ PROPOSED STORM INLET

- GENERAL NOTES**
1. THE BASE SURVEY WAS PREPARED BY GRAEF IN MAY, 2014. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERE TO.
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 3. CONTRACTORS SHALL CONTACT THE VILLAGE ENGINEERING DEPARTMENT (262-948-8951) TO SCHEDULE INSPECTIONS OF ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY 48-HOURS IN ADVANCE.

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Costco
F.F.E. = 724.35

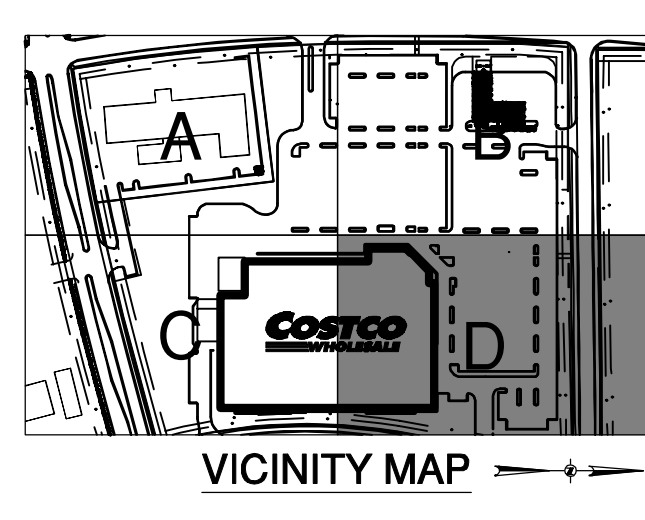
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PROJECT TITLE:
COSTCO WHOLESALE CORPORATION
WAREHOUSE
PLEASANT PRAIRIE, WISCONSIN

ISSUE:

NO.	DATE	REVISIONS	BY
1	9/3/14	BID SET	JMH

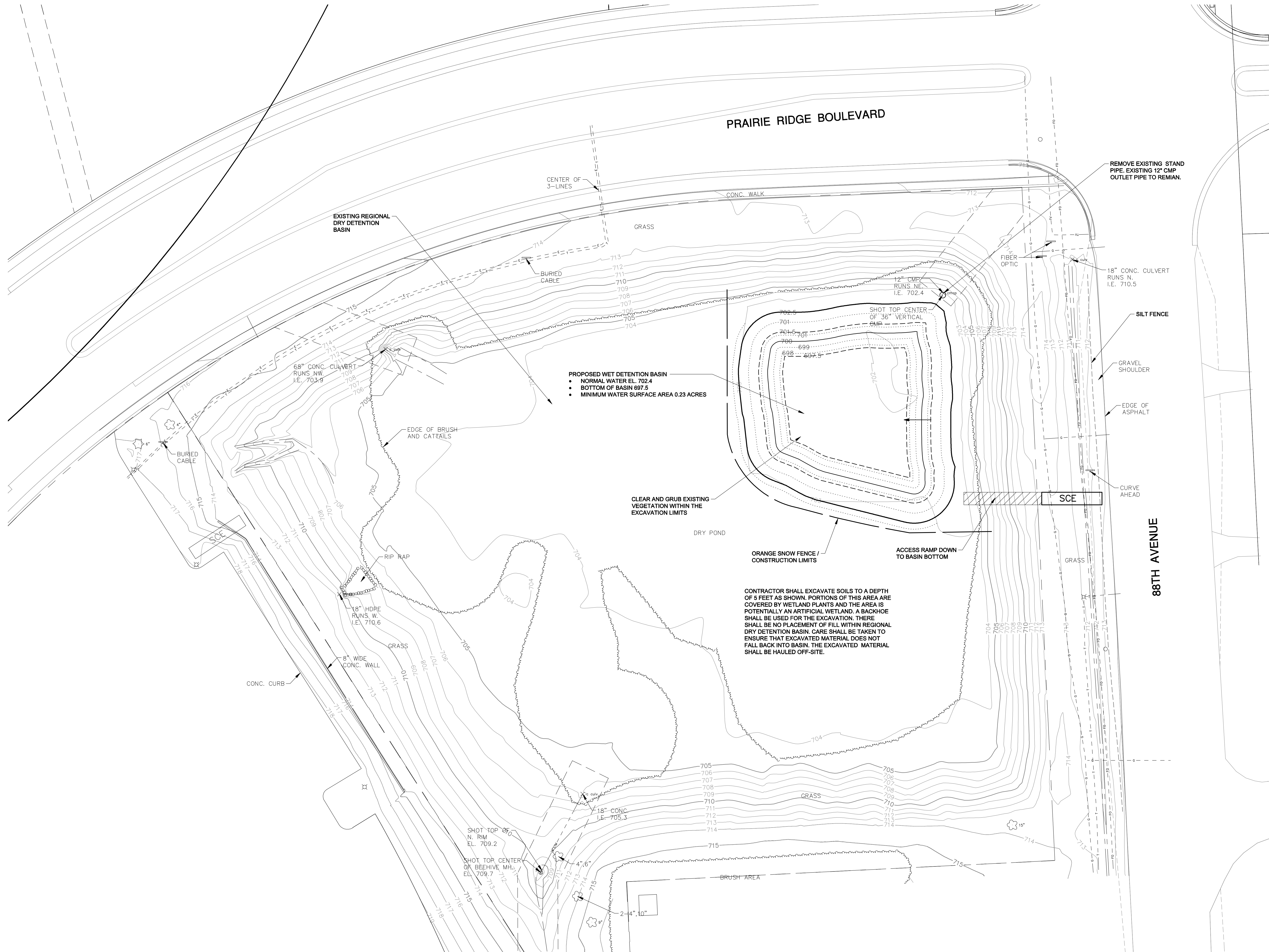
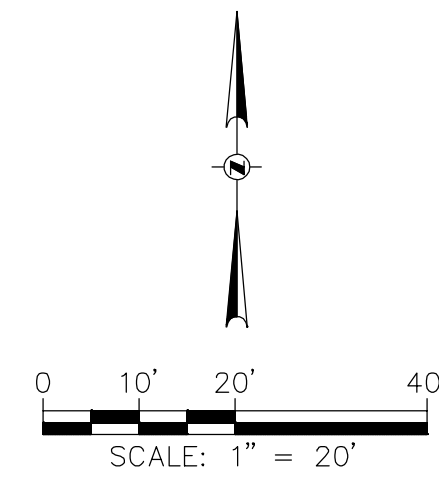


PROJECT INFORMATION:

PROJECT NUMBER: 20140079.00
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DRAWN BY: SRK
CHECKED BY: JMH
APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: C:\00_C530\C533_STORM_079

SHEET TITLE:
DETAILED STORM SEWER PLAN -
AREA D

SHEET NUMBER:



GENERAL NOTES

- UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON FIELD SURVEY. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO AVOID DAMAGE THERETO.
- REFER TO SHEET C100 FOR BENCHMARKS, ELEVATION DATUM, AND TOPOGRAPHIC ELEMENTS.
- CONTRACTORS SHALL CONTACT THE VILLAGE ENGINEERING DEPARTMENT (262-948-8951) TO SCHEDULE INSPECTIONS OF ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY 48-HOURS IN ADVANCE.

LEGEND

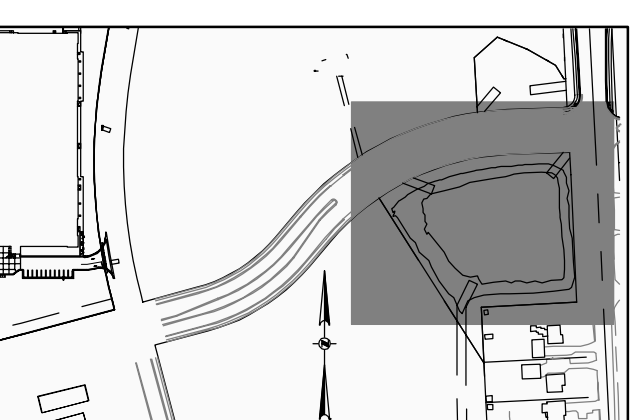
- - - - - 704 - EXISTING CONTOUR
- - - - - 704 - PROPOSED CONTOUR
- [Hatched Box] SCE - STONE CONSTRUCTION ENTRANCE
- - - - - - SILT FENCE/CONSTRUCTION LIMITS

GRADING NOTES

- CONTRACTOR TO STABILIZE AREA WITH PERMANENT SEEDING IMMEDIATELY UPON COMPLETION OF WET DETENTION POND.
- EROSION MATTING SHALL BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS USED FOR CONSTRUCTION ACCESS, STAGING, AND STOCK PILING.

PROJECT TITLE:
COSTCO WHOLESALE CORPORATION
WAREHOUSE
PLEASANT PRAIRIE, WISCONSIN

NO.	DATE	REVISIONS	BY
	9/3/14	BID SET	JMH



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PROJECT NUMBER: 20140079.00
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DRAWN BY: SRK
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APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: C:\00_C600-C601_OFFSITE\TEMPRV_07

SHEET TITLE:
OFF SITE IMPROVEMENTS -
DETENTION BASIN GRADING

SHEET NUMBER:
C600

EROSION CONTROL NOTES

- NO LAND DISTURBING CONSTRUCTION ACTIVITY MAY COMMENCE WITHOUT RECEIVING PRIOR APPROVAL OF AN EROSION AND SEDIMENT CONTROL PLAN FOR THE SITE AND A PERMIT FROM THE VILLAGE OF PLEASANT PRAIRIE.
- CONSTRUCTION SITE EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS AND THE VILLAGE OF PLEASANT PRAIRIE EROSION AND SEDIMENT CONTROL STANDARDS.
- VILLAGE OF PLEASANT PRAIRIE PERMIT CONDITIONS INCLUDE:
 - NOTIFY THE VILLAGE WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING ACTIVITY.
 - NOTIFY THE VILLAGE OF COMPLETION OF ANY BMPS WITHIN 14 BUSINESS DAYS AFTER THEIR INSTALLATION.
 - OBTAIN PERMISSION IN WRITING FROM THE VILLAGE PRIOR TO MAKING ANY MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLAN.
 - INSTALL ALL BMPS AS IDENTIFIED ON THE EROSION AND SEDIMENT CONTROL PLAN.
 - MAINTAIN ALL ROAD DRAINAGE SYSTEMS, STORMWATER DRAINAGE SYSTEMS, BMPS AND OTHER FACILITIES IDENTIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN.
 - REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DISTURBING CONSTRUCTION ACTIVITIES AND DOCUMENT REPAIRS IN WEEKLY INSPECTION REPORTS.
- CONDUCT CONSTRUCTION SITE INSPECTIONS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5 INCHES OR GREATER. REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL BMPS AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION THAT REPAIR OR REPLACEMENT IS NEEDED. MAINTAIN AT THE CONSTRUCTION SITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING: DATE, TIME AND LOCATION OF THE CONSTRUCTION SITE INSPECTION; THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF EROSION AND SEDIMENT CONTROLS; A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE.
- ALLOW THE VILLAGE TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE CONTROL PLAN. KEEP A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN, STORMWATER MANAGEMENT PLAN, AMENDMENTS, WEEKLY INSPECTION REPORTS, AND PERMIT AT THE CONSTRUCTION SITE UNTIL PERMIT COVERAGE IS TERMINATED.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED

PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.

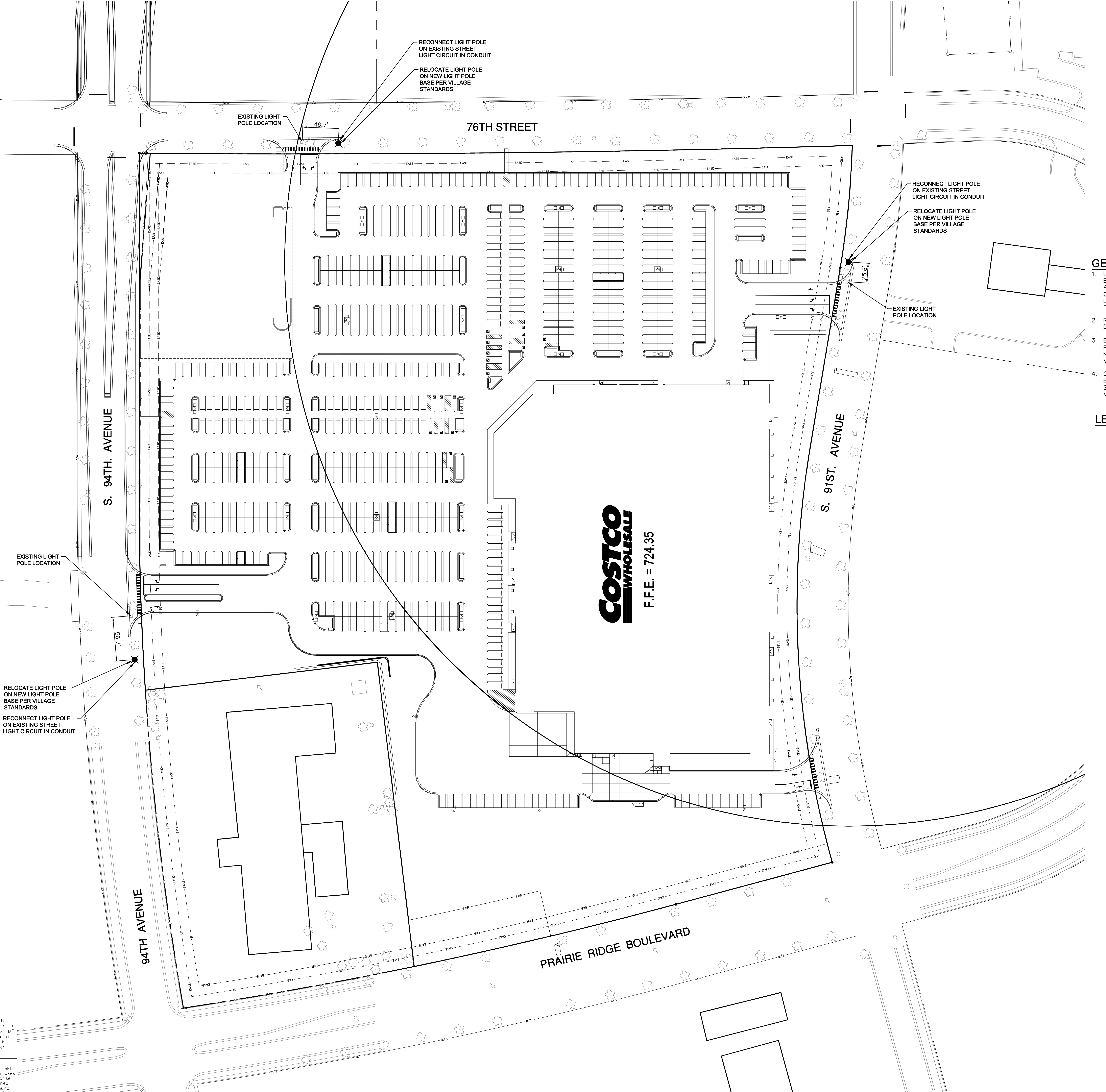
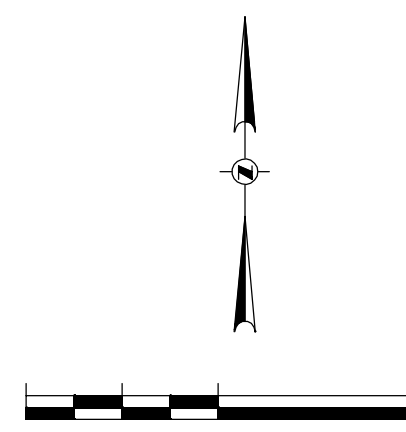
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, INSPECTION, AND MAINTENANCE OF ALL EROSION CONTROL MEASURES, AND FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
- STONE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
- CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - CLEAR AND GRUB PROPOSED WET DETENTION BASIN AREA.
 - COMPLETE EXCAVATION AND GRADING ACTIVITIES FOR PROPOSED WET DETENTION BASIN.
 - INSTALL LANDSCAPING ON COMPLETED SITE WITHIN 7 DAYS OF COMPLETING CONSTRUCTION.
 - REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED AS APPROVED BY ENGINEER.

- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND MULCHING SODDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER 15TH. IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDED AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY EITHER CRIMPING OR BY APPLYING A TACKIFIER.
- PERMANENT SEED MIX SHALL BE WISDOT SEED MIX NO. 40 AT 7 POUNDS PER 1000 SQUARE FEET.
- USE ANNUAL RYE SEED MIX AT 100 POUNDS PER ACRE AS A TEMPORARY SEED MIX. PERMANENT SEEDING SHALL FOLLOW WITHIN ONE YEAR. IF TEMPORARY SEEDING IS NOT ESTABLISHED BY OCTOBER 15TH, USE CLASS I TYPE B MATTING ON ALL SLOPES 4:1 OR STEEPER.
- FOR WINTER STABILIZATION, STABILIZE SITE WITH EITHER PAM-12 PLUS SOIL STABILIZER OR PAVEMENT GRAVEL BASE IN AREAS WHERE TEMPORARY OR PERMANENT SEEDING IS NOT ESTABLISHED.

- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
- KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.

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GENERAL NOTES

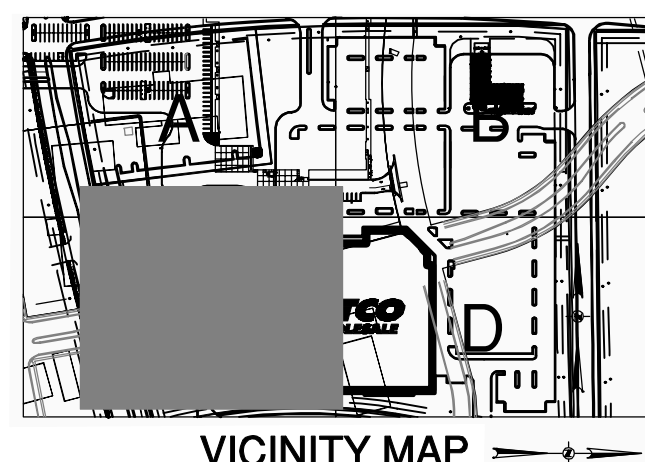
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- REFER TO SHEET C100 FOR BENCHMARKS, ELEVATION DATUM, AND TOPOGRAPHIC ELEMENTS.
- EXISTING CURB AND GUTTER REMOVAL/REPLACEMENT FOR PUBLIC ROADWAY(S) SHALL BE TO THE NEAREST JOINT AND SHALL BE CONSTRUCTED TO VILLAGE SPECIFICATIONS.
- CONTRACTORS SHALL CONTACT THE VILLAGE ENGINEERING DEPARTMENT (262-948-8951) TO SCHEDULE INSPECTIONS OF ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY 48-HOUR IN ADVANCE.

LEGEND

- ⊗ -EXISTING STREET LIGHT POLE
- ⊗ -EXISTING STREET TREE
- ⊗ -PROPOSED STREET LIGHT POLE RELOCATION

PROJECT TITLE:
**COSTCO WHOLESALE CORPORATION
 WAREHOUSE
 PLEASANT PRAIRIE, WISCONSIN**

NO. DATE		REVISIONS		ISSUE:	
	9/3/14		BID SET		JMH



PROJECT INFORMATION:

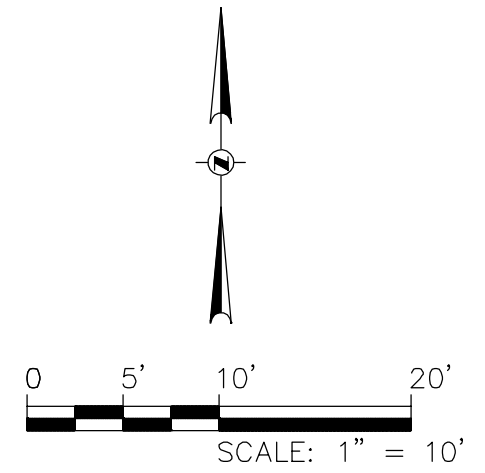
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SHEET TITLE:
**OFF SITE IMPROVEMENTS -
 STREET LIGHT POLE
 RELOCATIONS**

SHEET NUMBER:

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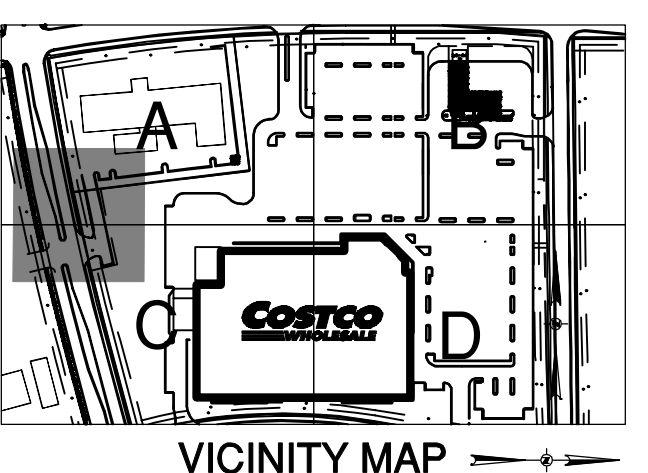
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One Honey Creek Corporate Center
 125 South 84th Street, Suite 401
 Milwaukee, WI 53214-1469
 414 / 259 1500
 414 / 259 0037 fax
 www.graef-usa.com

PROJECT TITLE:
 COSTCO WHOLESALE CORPORATION
 WAREHOUSE
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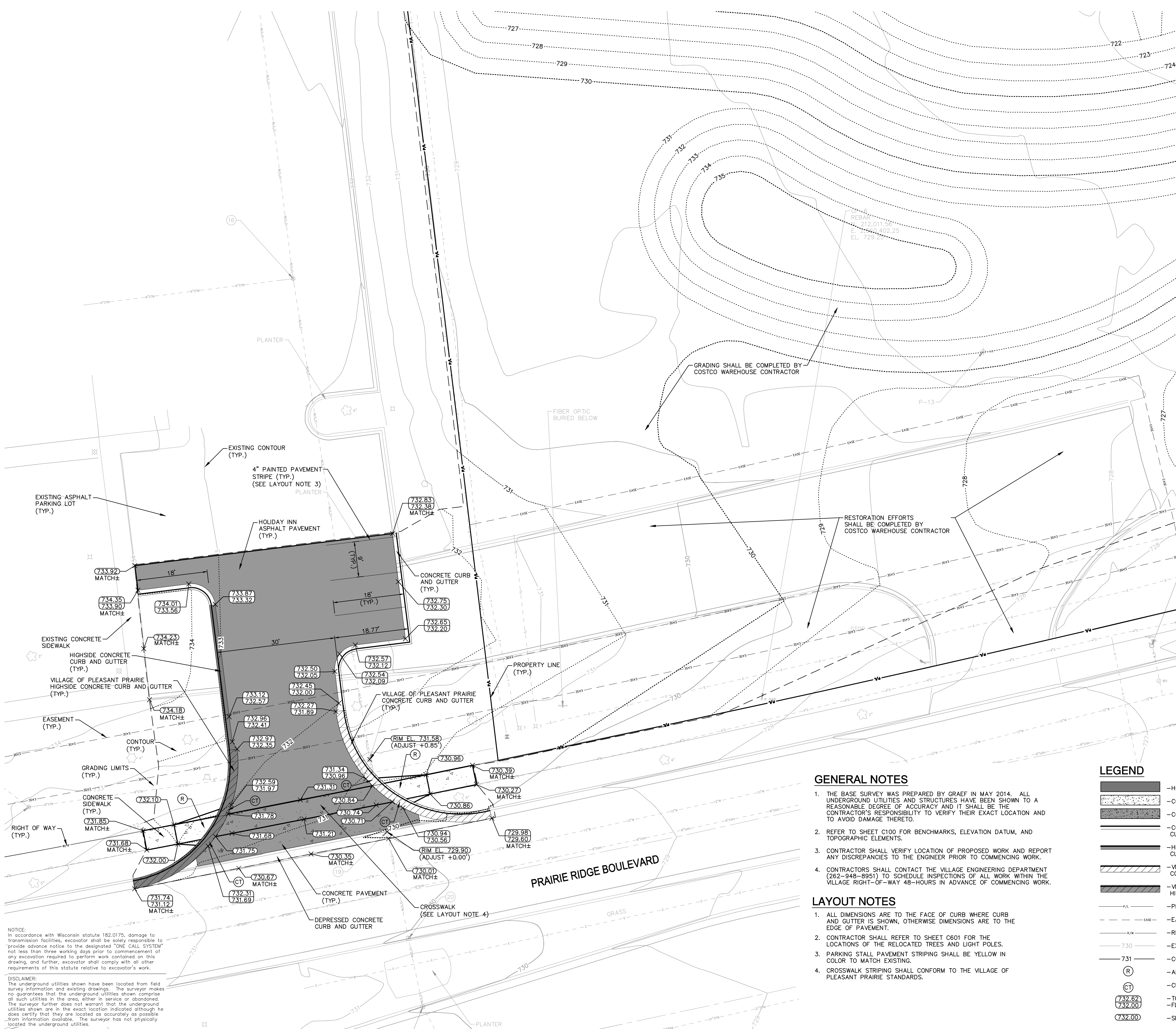
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 APPROVED BY: TMF
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SHEET TITLE:
 OFF SITE IMPROVEMENTS-
 HOLIDAY INN LAYOUT AND
 GRADING PLAN

SHEET NUMBER:



GENERAL NOTES

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4. CONTRACTORS SHALL CONTACT THE VILLAGE ENGINEERING DEPARTMENT (262-948-8951) TO SCHEDULE INSPECTIONS OF ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY 48-HOURS IN ADVANCE OF COMMENCING WORK.

LAYOUT NOTES

1. ALL DIMENSIONS ARE TO THE FACE OF CURB WHERE CURB AND GUTTER IS SHOWN, OTHERWISE DIMENSIONS ARE TO THE EDGE OF PAVEMENT.
2. CONTRACTOR SHALL REFER TO SHEET C601 FOR THE LOCATIONS OF THE RELOCATED TREES AND LIGHT POLES.
3. PARKING STALL PAVEMENT STRIPING SHALL BE YELLOW IN COLOR TO MATCH EXISTING.
4. CROSSWALK STRIPING SHALL CONFORM TO THE VILLAGE OF PLEASANT PRAIRIE STANDARDS.

LEGEND

- HOLIDAY INN ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- CONCRETE CURB AND GUTTER
- HIGHSIDE CONCRETE CURB AND GUTTER
- VILLAGE OF PLEASANT PRAIRIE CONCRETE CURB AND GUTTER
- VILLAGE OF PLEASANT PRAIRIE HIGHSIDE CONCRETE CURB AND GUTTER
- PROPERTY LINE
- EASEMENT
- RIGHT OF WAY
- EXISTING CONTOUR
- CONTOUR
- ADA RAMP WITH TRUNCATED DOME PANELS
- CURB TAPER
- TOP OF CURB GRADE
- FLANGE GRADE
- SPOT GRADE

NOTICE:
 In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
 The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

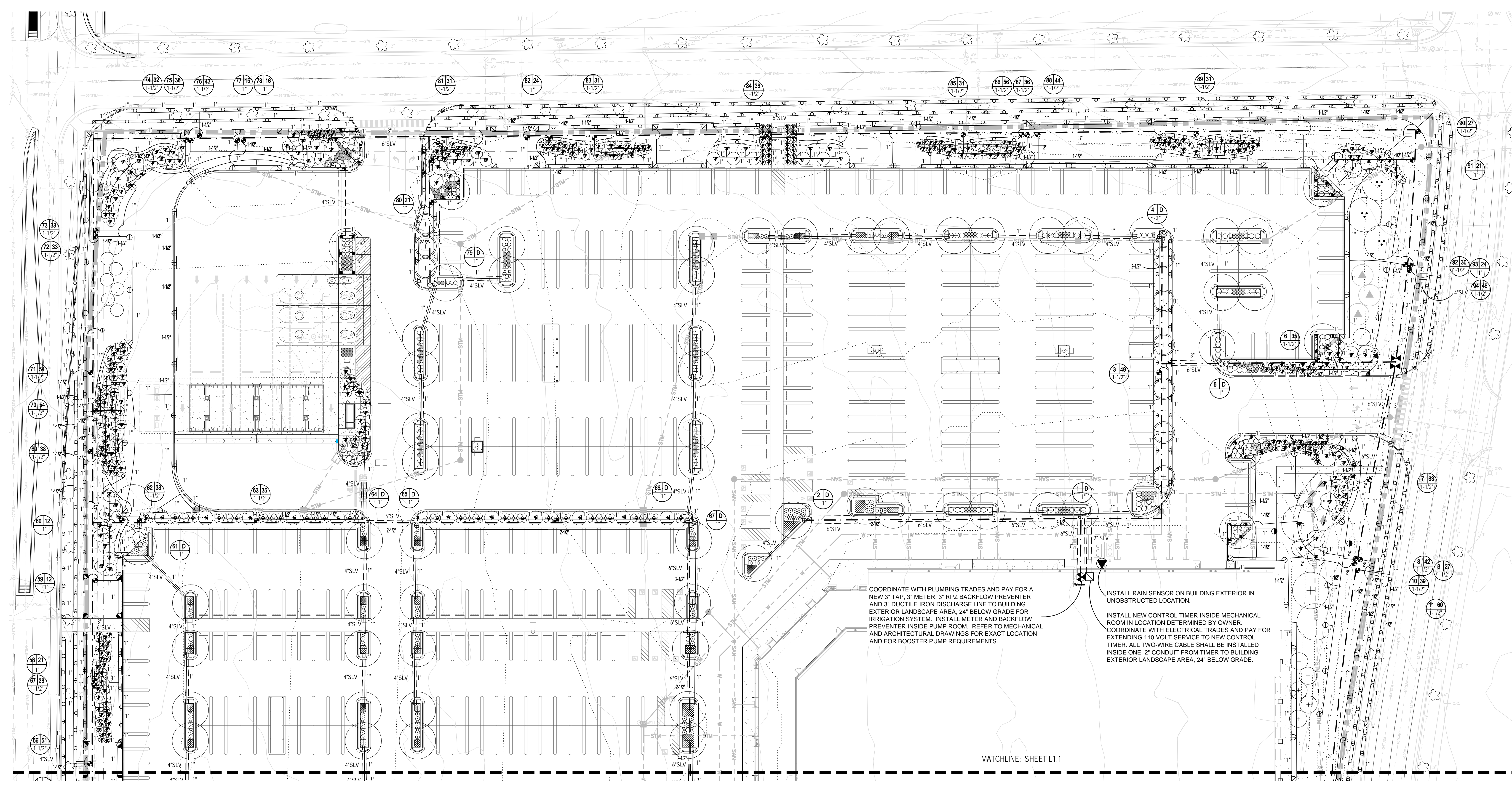
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COSTCO WHOLESALE
PLEASANT PRAIRIE, WI
7707 94TH AVENUE
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COSTCO WHOLESALE CORPORATION
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www.costco.com

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734.662.4457
www.smithgroupjjr.com

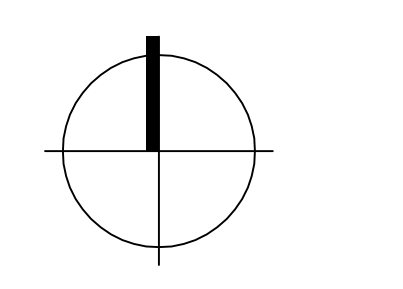
BID SET



COORDINATE WITH PLUMBING TRADES AND PAY FOR A NEW 3" TAP, 3" METER, 3" RPZ BACKFLOW PREVENTER AND 3" DUCTILE IRON DISCHARGE LINE TO BUILDING EXTERIOR LANDSCAPE AREA, 24" BELOW GRADE FOR IRRIGATION SYSTEM. INSTALL METER AND BACKFLOW PREVENTER INSIDE PUMP ROOM. REFER TO MECHANICAL AND ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND FOR BOOSTER PUMP REQUIREMENTS.

INSTALL RAIN SENSOR ON BUILDING EXTERIOR IN UNOBSTRUCTED LOCATION.
INSTALL NEW CONTROL TIMER INSIDE MECHANICAL ROOM IN LOCATION DETERMINED BY OWNER. COORDINATE WITH ELECTRICAL TRADES AND PAY FOR EXTENDING 110 VOLT SERVICE TO NEW CONTROL TIMER. ALL TWO-WIRE CABLE SHALL BE INSTALLED INSIDE ONE 2" CONDUIT FROM TIMER TO BUILDING EXTERIOR LANDSCAPE AREA, 24" BELOW GRADE.

MATCHLINE: SHEET L1.1



GEOFFREY GRABER

DATE	DESCRIPTION
	OWNER APPROVAL
09.03.14	PERMIT ISSUE
09.03.14	BID ISSUE
	BUILDING DEPT REVISIONS
	CONTRACT ISSUE
	PR #1
	AS-BUILT ISSUE

20287.000
PM: CAROL SCHULTE

IRRIGATION PLAN
SHEET 1 OF 2

I-1.0

PLOTTED BY: CAROL SCHULTE DATE/TIME: 9/2/2014 5:25 PM FILE: P:\20287\000\CAD\LSH\20287_PRAIRIE_LRIRG_9-2-14.DWG

W:\PROJECTS\20287\000\CAD\LSH\SETPL_PRAIRIE_LR\RRIG_9214.DWG
PLOTTED BY: CAROL SCHULTE DATE/TIME: 9/22/2014 5:25 PM FILE: P:\20287\000\CAD\LSH\SETPL_PRAIRIE_LR\RRIG_9214.DWG



MATCHLINE: SHEET L1.0

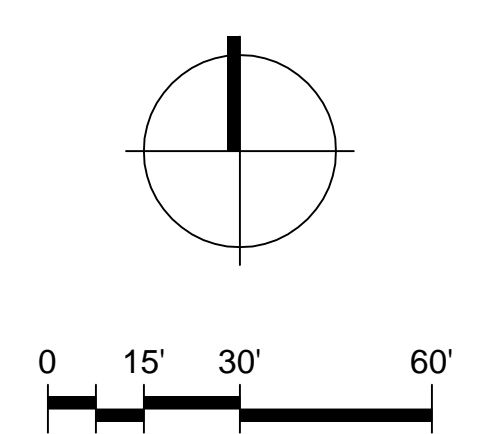
FOR PLANT LIST SEE SHEET L-1.0
FOR DETAILS SEE SHEET L-1.2

COSTCO WHOLESALE
PLEASANT PRAIRIE, WI
7707 94TH AVENUE
PLEASANT PRAIRIE, WI

COSTCO WHOLESALE CORPORATION
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ISSAQUAH, WA 98027
T: 425.313.8100
www.costco.com

BID SET

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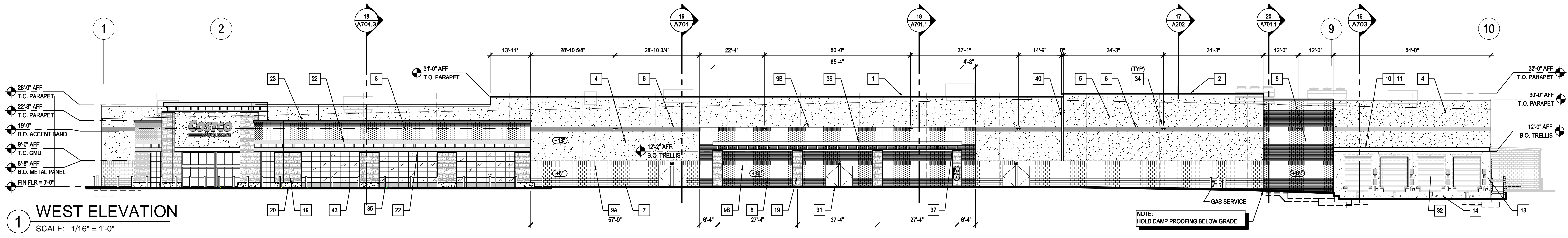
GEOFFREY GRABER

△	DATE	DESCRIPTION
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	09.03.14	PERMIT ISSUE
	09.03.14	BID ISSUE
		BUILDING DEPT REVISIONS
		CONTRACT ISSUE
		PR #1
		AS-BUILT ISSUE

20287.000
PM: CAROL SCHULTE

IRRIGATION PLAN
SHEET 2 OF 2

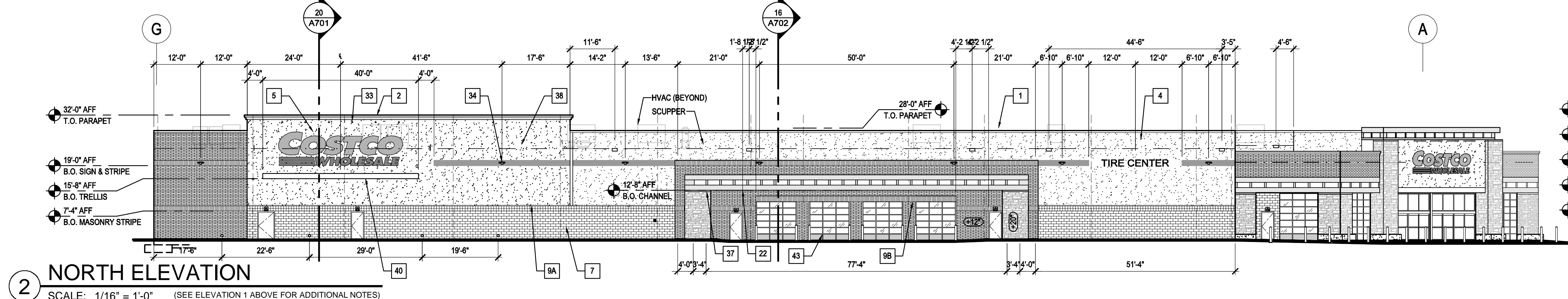
I-1.1



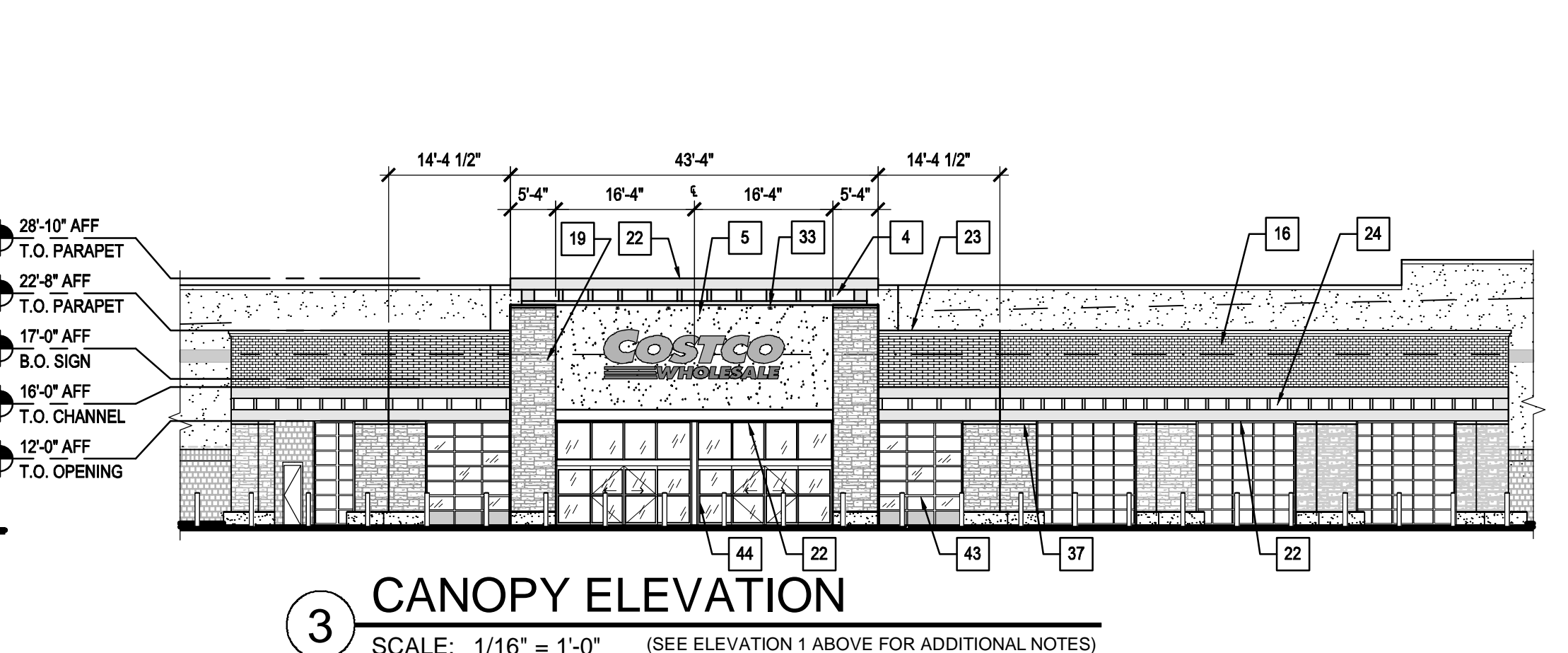
1 WEST ELEVATION
 SCALE: 1/16" = 1'-0"

MASON NOTE:
 SEE A301.1
 ALL CMU EXPOSED BELOW FLOOR LEVEL IS TO MATCH CMU OF WALL ABOVE (NO GRAY UNITS) SMOOTH FACED UNITS REQUIRED AT JOINT COVERS AND WHERE SIDING, COPING, FLASHING, ETC. OVERLAPS ONTO CMU

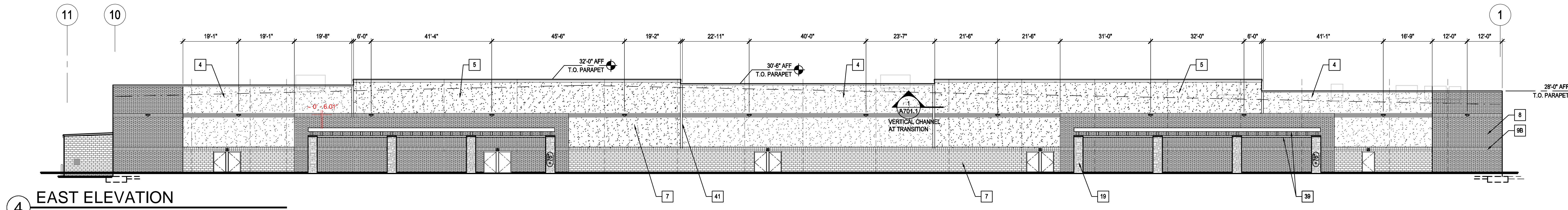
NOTE:
 BOTTOM OF SIDING IS 4" BELOW TOP OF CMU UNO



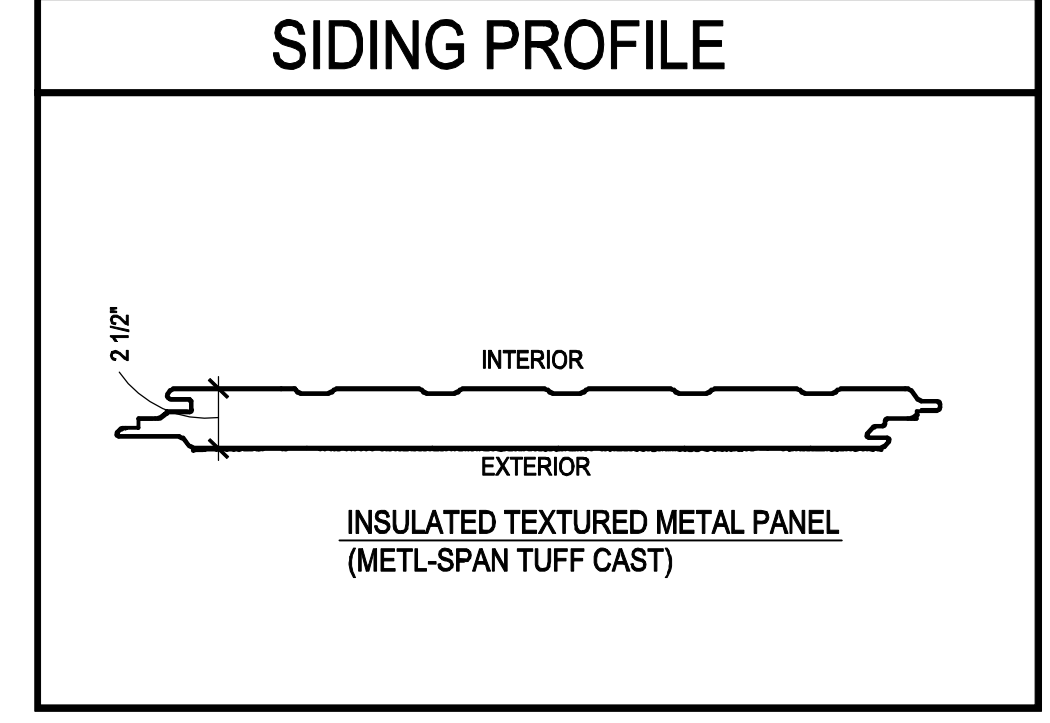
2 NORTH ELEVATION
 SCALE: 1/16" = 1'-0" (SEE ELEVATION 1 ABOVE FOR ADDITIONAL NOTES)



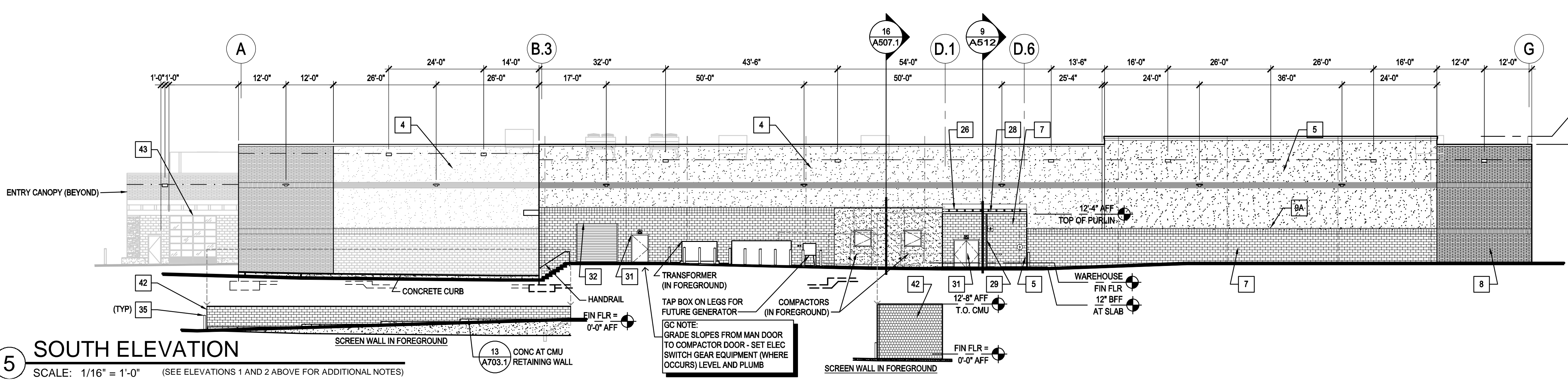
3 CANOPY ELEVATION
 SCALE: 1/16" = 1'-0" (SEE ELEVATION 1 ABOVE FOR ADDITIONAL NOTES)



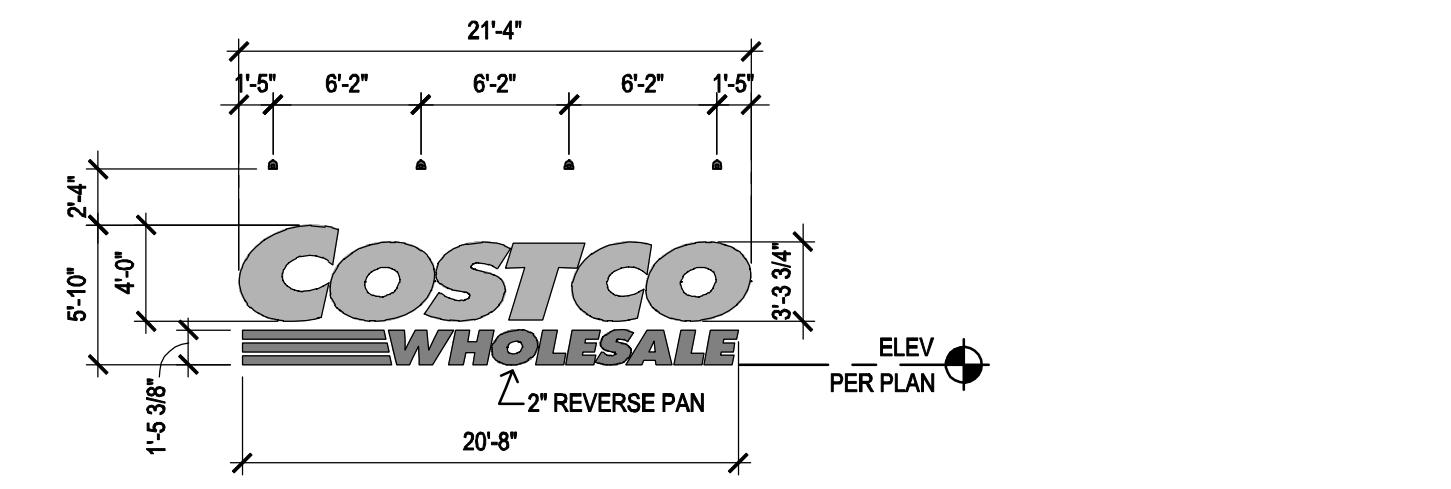
4 EAST ELEVATION
 SCALE: 1/16" = 1'-0" (SEE ELEVATION 1 ABOVE FOR ADDITIONAL NOTES)



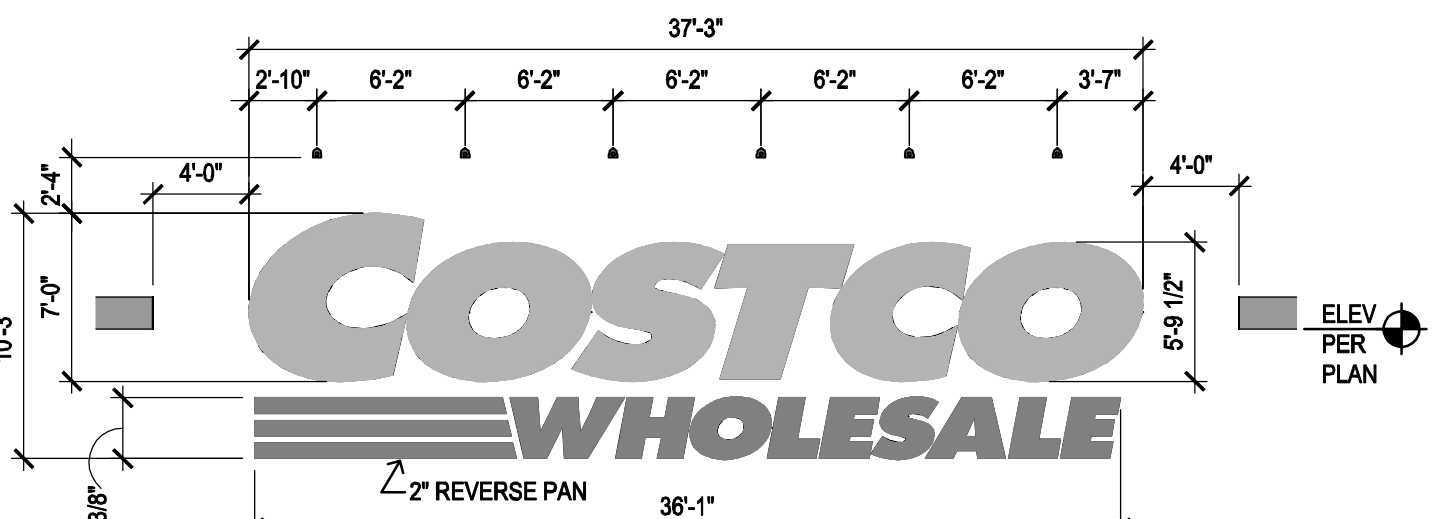
SIGNAGE AREA TABULATION (WALL SIGNS)				
QTY	SIGN	SIZE	AREA (SF) EA	TOTAL SF
1	COSTCO WHOLESALE	6'-0" X 1'-0"	282 SF	282 SF
1	COSTCO WHOLESALE	4'-0" X 1'-0"	124 SF	124 SF
1	TIRE CENTER	17'-4" X 1'-9"	31 SF	31 SF
TOTAL SIGNAGE AREA			437 SF	



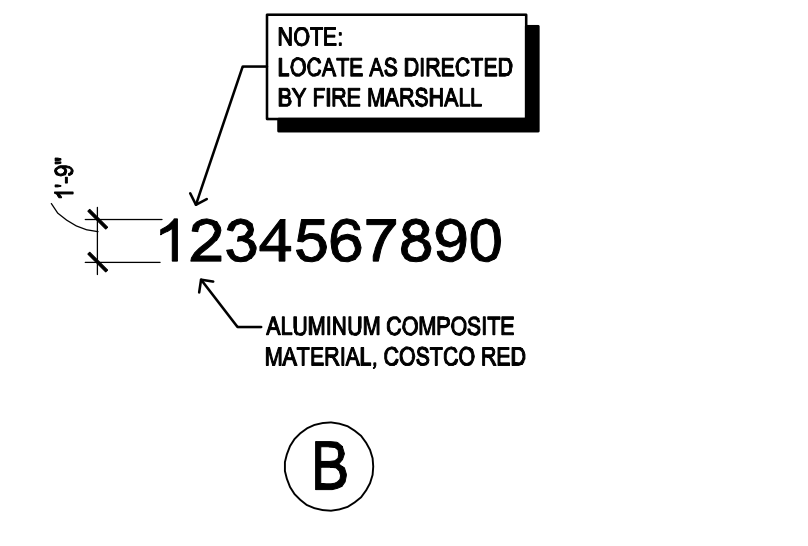
5 SOUTH ELEVATION
 SCALE: 1/16" = 1'-0" (SEE ELEVATIONS 1 AND 2 ABOVE FOR ADDITIONAL NOTES)



8 CANOPY SIGNAGE
 SCALE: 1/8" = 1'-0" (SUPPLIED AND INSTALLED BY MBS) 0614



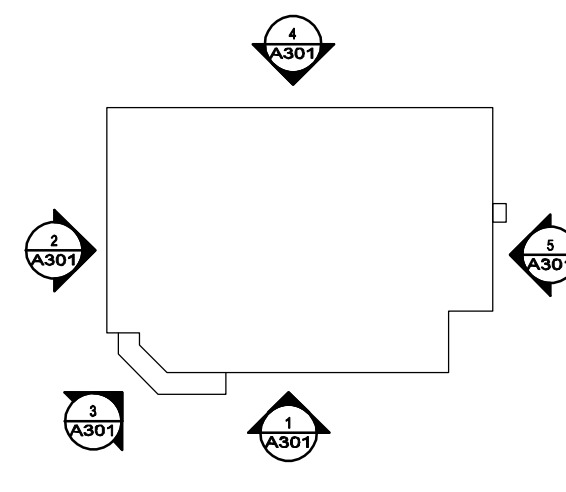
9 BUILDING SIGNAGE
 SCALE: 1/8" = 1'-0" (SUPPLIED AND INSTALLED BY MBS) 0614



10 TIRE CENTER LOCATION SIGNAGE
 SCALE: 1/8" = 1'-0" (SUPPLIED AND INSTALLED BY MBS) 0214

EXTERIOR FINISH SCHEDULE											
#	ITEM	MATERIAL	FINISH	COLOR	MFR \ NOTES	#	ITEM	MATERIAL	FINISH	COLOR	MFR \ NOTES
1	COPING 1x4 DET 18 A202	METAL	KYNAR 500	COOL HARVEST	BY MBS	16	CANOPY FACADE	STRUCTURAL BRICK	WATER REPELLANT	CONCRETE BLEND	CONSTRUCTION JOINT-SEE ITEM 36
2	COPING 1x6 DET 17 A202	METAL	KYNAR 500	COOL HARVEST	BY MBS	17	INSIDE FACE OF ENTRY	METAL PANELS	PRE-FINISHED		** SEE A301 NOTE 35
3	CORNICE A DET 13 A202	METAL	KYNAR 500	COOL HARVEST	BY MBS	18	EXT BLDG UNDER CANOPY	METAL PANELS	PRE-FINISHED		
4	WALL SIDING	INSULATED TEXTURED METAL PANELS	PRE-FINISHED	SANDSTONE	BY MBS	19	COLUMN WRAP	STONE VENEER	NATURAL	LANNON STONE VENEER	SPLITFACE BLEND MONACELLI STONE CO.
5	WALL SIDING	INSULATED TEXTURED METAL PANELS	PRE-FINISHED	SURREY BEIGE	BY MBS	20	BENCH	CONCRETE	SEALED	NATURAL	
6	ACCENT BAND	PRE-FINISHED METAL PANEL - REVS PAN	KYNAR 500	SAFETY RED	APPLIED BAND BY MBS	21	ROOF	METAL	PRE-FINISHED	COOL HARVEST	VSR STANDING SEAM, BY MBS
7	LOWER WALL	CMU	WATER REPELLANT SPLIT FACE	OVERFIELDS "COBBLESTONE"	CONTROL JOINTS - SEE ITEM 36 OBERFIELDS	22	RAKE	METAL	PRE-FINISHED	COOL HARVEST	BY MBS
8	ACCENT WALL	STRUCTURAL BRICK	WATER REPELLANT	SPEC-BRICK "STANTON BLEND"	CONTROL JOINTS - SEE ITEM 36 SPEC-BRICK	23	GUTTER	METAL	PRE-FINISHED	COOL HARVEST	BY MBS
9A	ACCENT BAND	CENTER SCORED CMU	WATER REPELLANT	OVERFIELDS "COBBLESTONE"	OVERFIELDS	24	DOWNSPOUT	METAL	PRE-FINISHED	COOL HARVEST	BY MBS
9B	ACCENT BAND	STRUCTURAL BRICK	WATER REPELLANT SOLDIER COURSE	SPEC-BRICK "STANTON BLEND"	SPEC-BRICK						
10	CANOPY ROOFING	METAL - VSR	PRE-FINISHED	COOL HARVEST	GABLE CLOSURE, BY MBS						
11	CANOPY FRAMING	METAL	PAINT, BY GC	ENDURING BRONZE	BY MBS						
12	LOWER WALL	CAST IN PLACE CONCRETE	WATER REPELLANT	SMOOTH FINISH	DO NOT PATCH AND SACK						
13	WALL BELOW FLOOR	CAST IN-PLACE CONCRETE	WATER REPELLANT	SMOOTH FINISH	DO NOT PATCH AND SACK						

KEY PLAN



RUSSELL H. HAZZARD, ARCHITECT

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DATE	DESCRIPTION
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	BUILDING DEPT REVISIONS
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	PR #1
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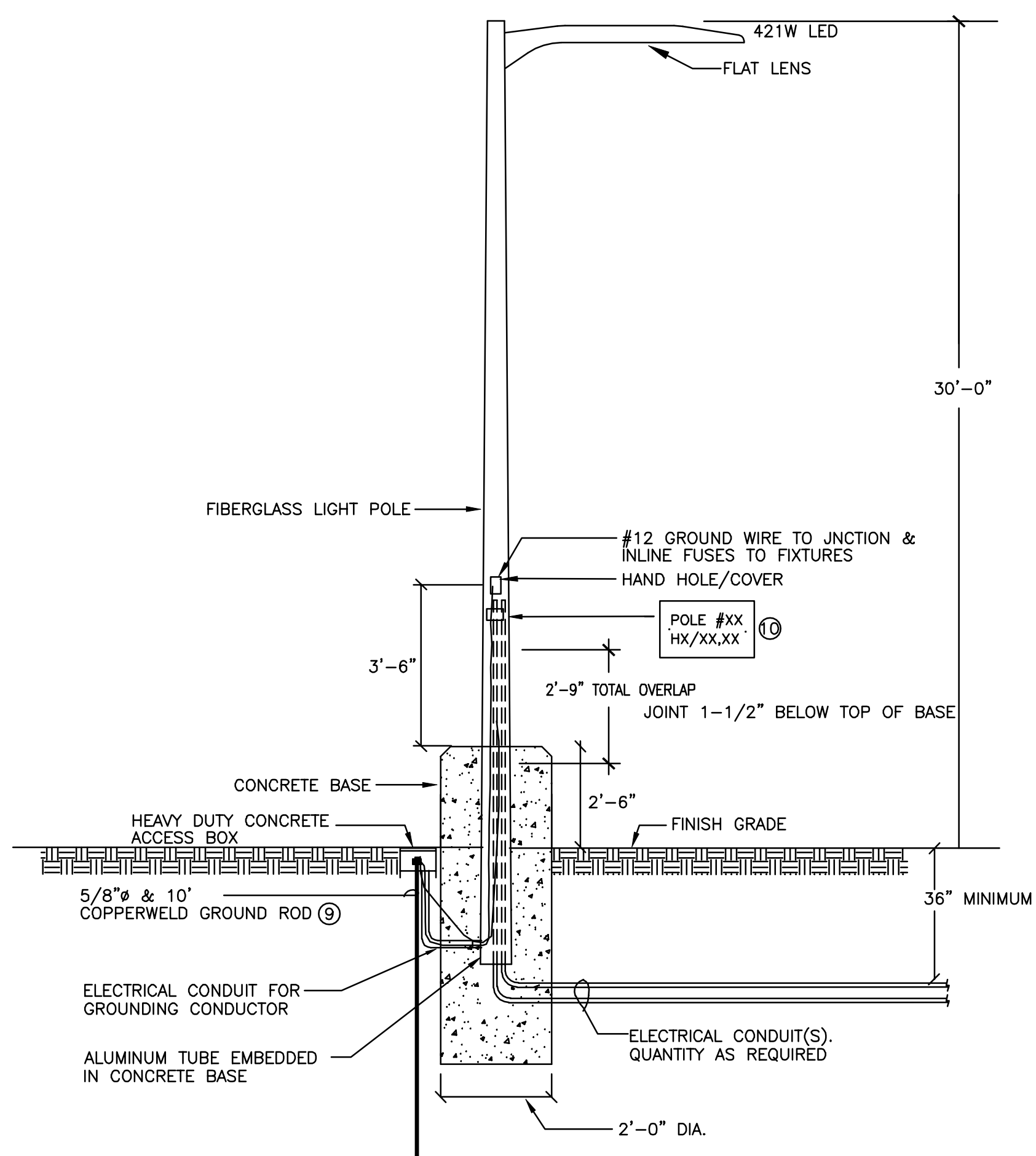
14-0006-01
 PM: TRAVIS MORTON
 DRAWN: YAH

EXTERIOR ELEVATIONS

A301

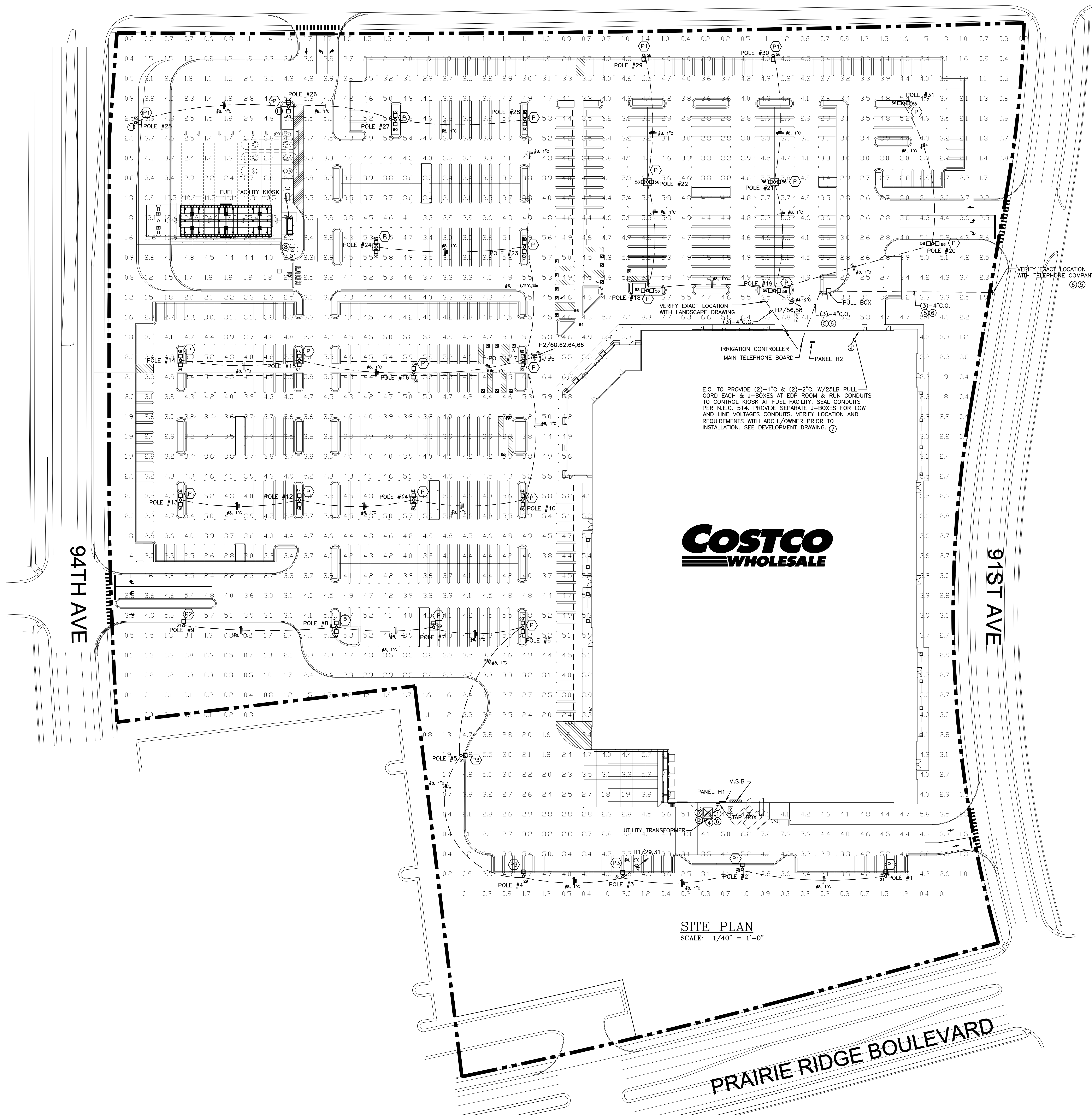
SITE PLAN NOTES:

- ① SECONDARY SERVICE LATERAL. VERIFY EXACT ROUTING PRIOR TO BID. SEE ONE LINE DIAGRAM. COORDINATE WITH THE POWER COMPANY FOR ALL REQUIREMENTS FOR CONNECTION OF THE TRANSFORMER. SEE NOTE ②.
- ② TRANSFORMER IS PROVIDED BY POWER CO. E.C. SHALL COORDINATE WITH POWER COMPANY FOR ALL INSTALLATION OF TRANSFORMER & ITS CONNECTION. PROVIDE GUARD POSTS, TRANSFORMER PAD, ETC. AS REQUIRED. MEET ALL POWER COMPANY REQUIREMENTS, INCLUDE ALL CHARGES IN BID.
- ③ UTILITY METERING. INSTALL ALL METERING EQUIPMENT SUPPLY BY POWER CO. AS REQUIRED.
- ④ PRIMARY CONDUITS, FEEDERS, TRANSFORMER, AND TRENCHING ARE PROVIDED BY G.C. VERIFY EXACT LOCATION AND REQUIREMENT WITH THE UTILITY COMPANY PRIOR TO BID. OBTAIN ALL CHARGES PRIOR TO BID. INCLUDE IN BID. SEE CIVIL DRAWINGS FOR EXACT LOCATION. PRIMARY CONDUITS SHALL BE ENCASED IN CONCRETE. PROVIDE HEAVY DUTY TRAFFIC RATED COVERPLATE FOR PULL BOXES.
- ⑤ PROVIDE AND INSTALL TELEPHONE TERMINAL BOARD AS DIRECTED BY THE TELEPHONE COMPANY. ALLOW (1) - 4' X 8' X 3/4" EXTERIOR PLYWOOD BOARD WITH (2) COATS VARNISH FOR BIDDING. THREE (3) 4" SCHEDULE 40 ENTRANCE CONDUITS AT A DEPTH OF 36" MIN. FROM THE TELEPHONE BOARD TO THE TELEPHONE COMPANY TERMINATION POINT. A PULL WIRE MUST BE PLACED IN ALL TELEPHONE CONDUITS FOR PROOFING AND PULLING PURPOSES. ALSO PLACE A STAKE AT THE END OF ALL TELEPHONE ENTRANCE CONDUITS. VERIFY EXACT LOCATION AND REQUIREMENTS PRIOR TO BID. SEE SHEET "E-6" FOR THE TELEPHONE BOARD LOCATION. PROVIDE A #6 COPPER GROUND WIRE FROM TELEPHONE BOARD TO BUILDING GROUNDING SYSTEM.
- ⑥ GENERAL & ELECTRICAL CONTRACTORS SHALL COORDINATE WITH POWER & TELEPHONE COMPANIES TO BRING THE POWER & TELEPHONE SERVICES TO THE BUILDING.
- ⑦ E.C. TO PROVIDE J-BOX(ES) FOR FUEL FACILITY CONDUITS AS REQUIRED FOR EVERY 250' OR AFTER (2) 90 DEGREE BENDS. SEAL ALL CONDUITS PER CODE. SEE ARCHITECTURAL & CIVIL DRAWINGS FOR ROUTING.
- ⑧ TYPICAL FUEL FACILITY TRANSFORMER LOCATION. G.C. AND E.C. SHALL VERIFY REQUIREMENTS AND LOCATION WITH ARCHITECT. E.C. SHALL COORDINATE WITH POWER COMPANY FOR ALL INSTALLATION OF TRANSFORMER & ITS CONNECTION. PROVIDE GUARD POST, TRANSFORMER TRENCHING, PRIMARY CONDUIT, ETC. AS REQUIRED. MEET ALL POWER COMPANY REQUIREMENTS, INCLUDE ALL CHARGES IN BID.
- ⑨ E.C. TO PROVIDE COPPERWELD 5/8" Ø X 10' LONG GROUND ROD AT THE LIGHT POLE TYP. BOND GROUND WIRES TO POLE BASE REBAR AND GROUND ROD.
- ⑩ POLE MANUFACTURER TO PROVIDE POLE ID ON THE HANDHOLE COVER. LABEL POLE NUMBER AND CIRCUIT NUMBER PER PLAN. EXAMPLE: POLE#1, H2/S4.56. 2"x4" LABEL. 1/4" HIGH ENGRAVED LETTERS. COVER SHALL BE SECURED WITH TAMPER-PROOF SCREWS. E.C. TO VERIFY CIRCUIT NUMBERS PER PLAN AND ENSURE THE CORRECT INSTALLATION OF LABEL / COVER FOR EACH POLE.
- ⑪ E.C. TO SEAL UNDERGROUND CONDUITS WITHIN 10' OF ENTERING GROUND ON BOTH ENDS. SEAL POLE AND ASSOCIATED J-BOX. PROVIDE EXPLOSION-PROOF-RATED J-BOX AND OTHER ELECTRICAL DEVICES NEAR FUELING FACILITY. REFER TO NEC ARTICLE 514.



NOTE: PROVIDE CONCRETE J-BOX AS REQUIRED. THIS DETAIL IS FOR ELECTRICAL CONDUITS ROUTING ONLY. SEE STRUCTURAL DRAWINGS S0.2 FOR DETAILS.

POLE DETAIL
SCALE: NTS

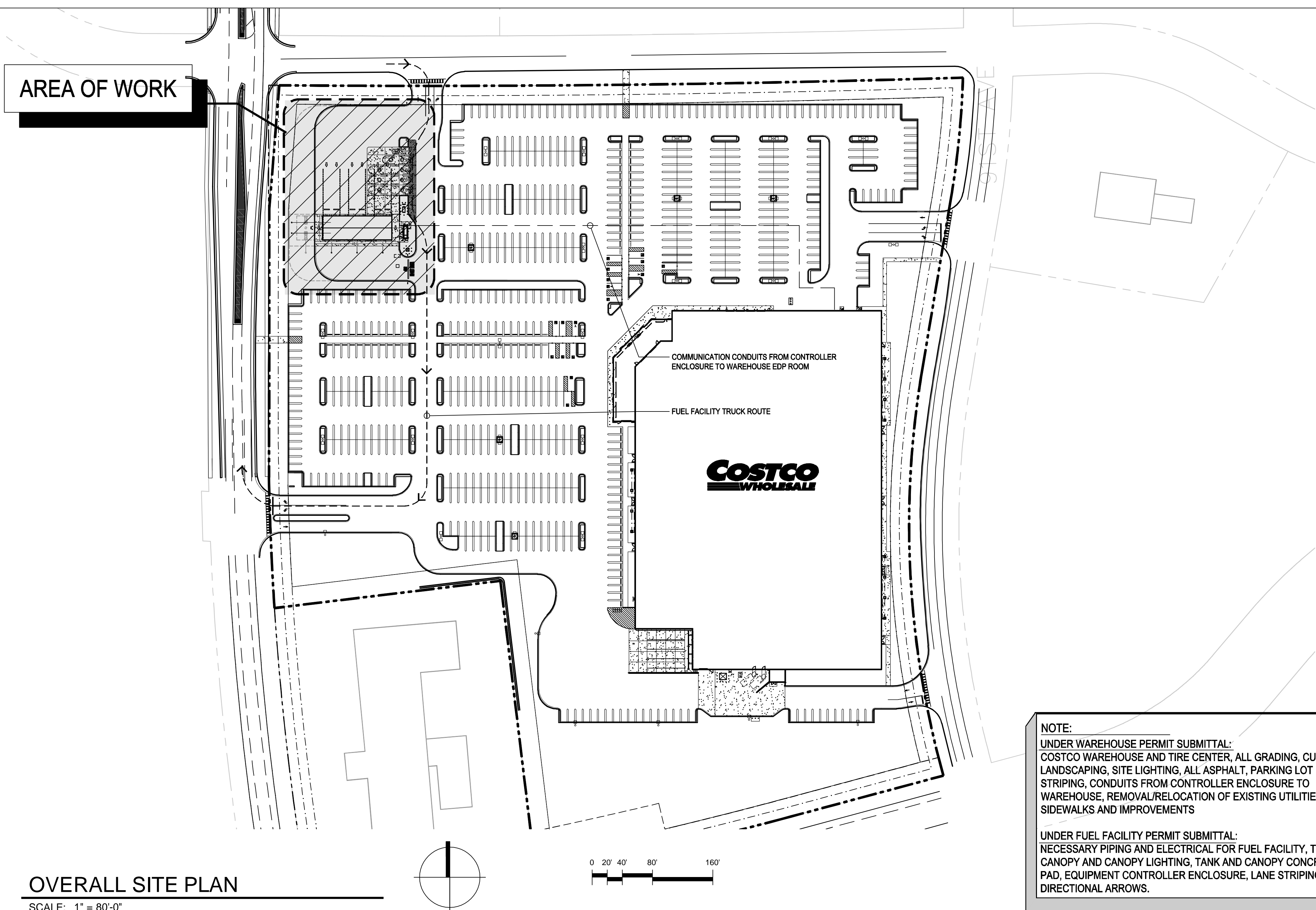


SITE PLAN
SCALE: 1/40" = 1'-0"

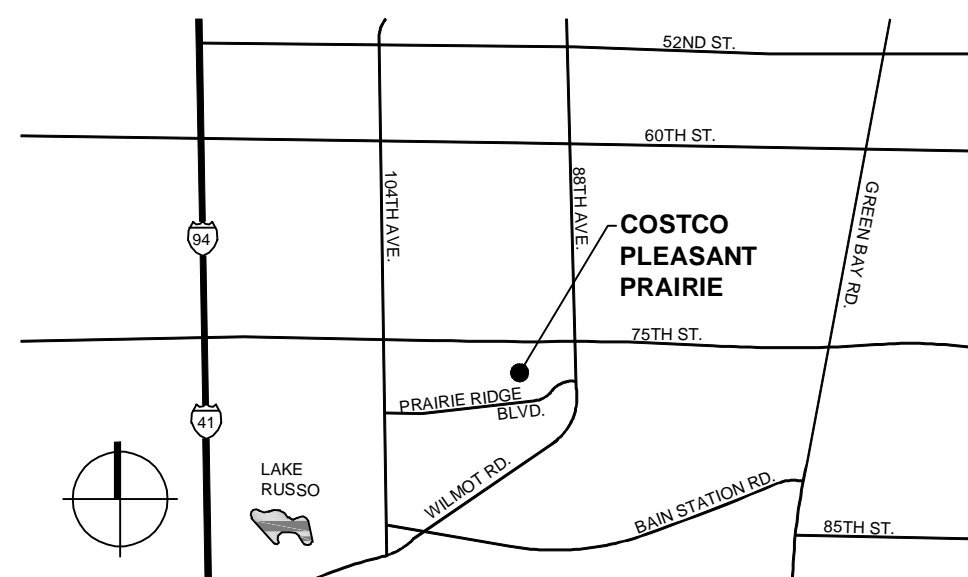
CHECKED: ANT/AGM
 DRAWN: JHN
 REVISION DATE: SEPTEMBER 3, 2014
 ISSUE DATE: AUGUST 29, 2014
 ARCHITECT REFERENCE NO: 14-0006-01
 PROJECT NO: 14-295
 NEW WAREHOUSE
 T.E., Inc.
 830 N. RIVERSIDE DRIVE
 SUITE #200
 RENTON, WA 98057
 PHONE: 425-970-3753
 FAX: 425-970-3756
 7707 94TH AVENUE
 PLEASANT PRAIRIE, WI 53158
 COSTCO WHOLESALE
 SE-1
 SITE LIGHTING PLAN, DETAIL AND NOTES
 NO PART OF THIS DOCUMENT MAY BE USED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF T.E.I.N.C.

COSTCO WHOLESALE FUEL FACILITY 7707 94TH AVENUE PLEASANT PRAIRIE, WI

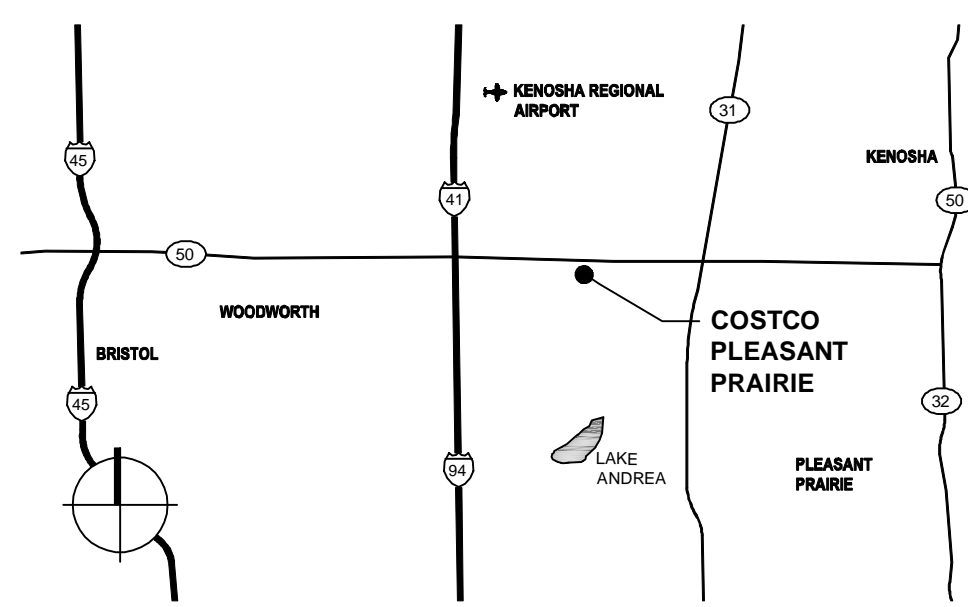
LOCATION MAP - SITE PLAN



VICINITY MAP



REGIONAL MAP



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C4.0	DETAILED GRADING PLAN
C5.0	DETAILED STORM SEWER PLAN
C9.0	SITE CONSTRUCTION DETAILS
C9.1	SITE CONSTRUCTION DETAILS
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C9.3	SITE CONSTRUCTION DETAILS
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T-2	3-30,000 GALLON DOUBLE WALL FIBERGLASS TANK INSTALLATION DETAILS
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T-3	TANK BURIAL AND ANCHORING DETAILS
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PROJECT DIRECTORY

OWNER	COSTCO WHOLESALE 899 LAKE DRIVE ISSAQUAH, WA 98027
ARCHITECT	MULVANNYG2 ARCHITECTURE 1110 112TH AVE NE, SUITE 500 BELLEVUE, WA 98004 T: 425.463.2000 F: 425.463.2022 PROJECT MANAGER: TRAVIS MORTON
CIVIL ENGINEER AND SURVEYOR	GRAEF INC. ONE HONEY CREEK CORPORATE CENTER 125 S. 94TH ST., SUITE 401 MILWAUKEE, WI 53214 T: 414.286.9167
GEOTECHNICAL ENGINEER	KLEINFELDER 1101 ANDOVER PARK WEST, SUITE 104 SEATTLE, WA 98188 T: 425.636.7000
LANDSCAPE ARCHITECT	SMITHGROUPJJR 201 DEPOT STREET, 2ND FLOOR ANN ARBOR, MI 48104 T: 734.669.2751 F: 734.780.8460
STRUCTURAL ENGINEER	SPAN CONSTRUCTION AND ENGINEERING, INC. 1841 HOWARD ROAD MADERA, CA 95357 T: 559.661.1111 F: 559.673.0600
TANK/ELECTRICAL/ENGINEER	BARGHAUSEN CONSULTING ENGINEERS, INC. 18215 22ND AVENUE SOUTH KENT, WA 98032 T: 425.251.6222 F: 425.251.6782

CODE ANALYSIS

GOVERNING BUILDING CODE:	INTERNATIONAL BUILDING CODE 2009
OCCUPANCY GROUP:	M (MERCANTILE)
CONSTRUCTION TYPE:	II B
BUILDING CANOPY AREA:	2,816 SQ FT
BUILDING HEIGHT:	17'-6" TO TOP OF CANOPY

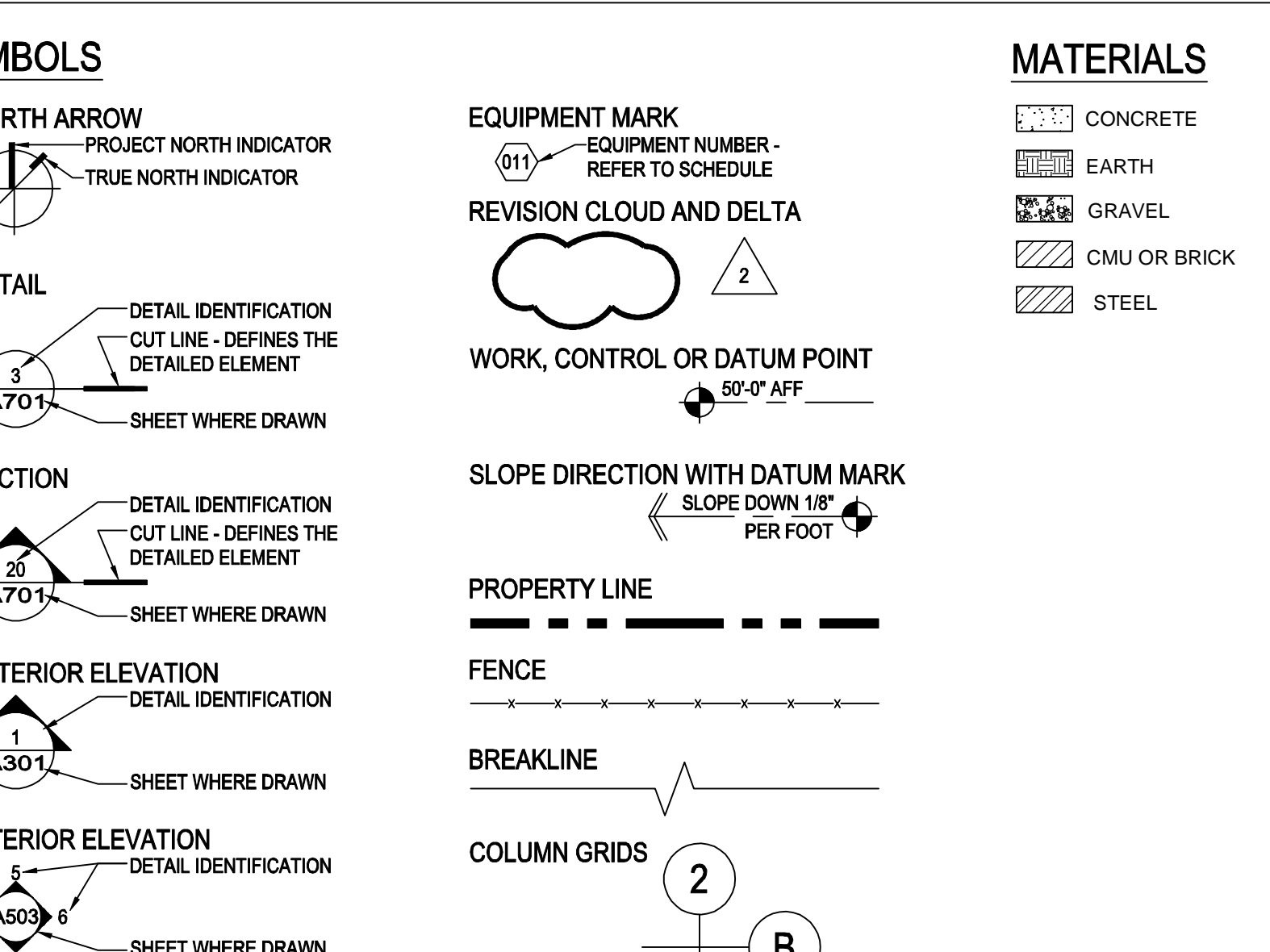
SITE & BLDG STATISTICS

1. ZONING:	B-2 PUD
2. SETBACKS:	IF APPLICABLE
FRONT:	35 FT
SIDE:	170 FT
3. SITE AREA:	17.54 ACRES (764,166 SF)
PARKING DATA:	
TOTAL PARKING:	690 STALLS
10' WIDE STALLS:	673 STALLS
ACCESSIBLE STALLS (2 PER 100):	17 STALLS
NUMBER OF STALLS PER 1000 SF OF BUILDING AREA:	4.48 STALLS
4. JURISDICTIONAL PARKING REQUIRED:	650 STALLS

FOR ADDITIONAL ABBREVIATIONS: SEE OTHER DESIGN DISCIPLINES ARCHITECTURAL ABBREVIATIONS

ADJ	ADJUSTABLE, ADJACENT	EXH	EXHAUST	MIN	MINI-HOLE	RO	ROUGH OPENING
AFF	ALUMINUM	EXH	EXISTING	MIN	MINIMUM	SHT	SCHEDULE
ALLUM	ALUMINUM	EXP	EXPANSION	MISC	MISCELLANEOUS	SHT	SHEET
ANOD	ANODIZED	EXT	EXTERIOR	MO	MASONRY OPENING	SIM	SIMILAR
APPROX	APPROXIMATE	FDD	FLOOR DRAIN	MR	MOISTURE RESISTANT	SIO	SUPPLIED & INSTALLED BY OWNER
BD	BOARD	FDN	FOUNDATION	MULL	MULLION	SIV	SUPPLIED & INSTALLED BY VENDOR
BFF	BELOW FINISHED FLOOR	FF	FINISHED FLOOR	MTD	MOUNTED	SOIC	SPECIFIED
BLDG	BUILDING	FHS	FLAT HEAD SCREW	MTG	MOUNTING	SQ	SQUARE
BLK	BLOCK	FL	FLOOR	NIC	NOT IN CONTRACT	SS	SANITARY SEWER
BLKG	BLOCKING	FIN	FINISH	NOM	NOMINAL	STD	STANDARD
BM	BEAM	FTG	FOOTING	NTS	NOT TO SCALE	STL	STEEL
BOT	BOTTOM	GA	GAUGE	OA	OVERALL	STRUC	STRUCTURE, STRUCTURAL
BTWN	BETWEEN	GALV	GALVANIZED	OC	ON CENTER	SYS	SYSTEM
CB	CATCH BASIN	GC	GENERAL CONTRACTOR	OH	OVERHEAD	T & E	TANK & ELECTRICAL
CI	CAST IRON	HC	HANDICAPPED	OPER	OPERATION	TOJ	TOP OF JOIST
CL	CAST IN PLACE	HM	HOLLOW METAL	OPG	OPENING	TOS	TOP OF STEEL
CLR	CENTER LINE	OPP	HORIZONTAL	OPP	OPPOSITE	TEL	TELEPHONE
CLG	CLEAR	HTR	HEIGHT	PERP	PERPENDICULAR	TG	TEMPERED GLASS
CMU	CONCRETE MASONRY UNIT	IBC	INTERNATIONAL BLDG CODE	PL	PLATE, PROPERTY LINE	TS	TYPICAL
COL	COLUMN	INSUL	INSULATION	PNL	PANEL, PANELING	UTL	UTILITY
CONC	CONCRETE	INT	INTERIOR	PRJ	PROJECT	UNB	UNIFORM BUILDING CODE
CONT	CONTINUOUS	JT/JTS	JOINT, JOINTS	PRV	PRESSURE REDUCING VALVE	UNSCHD	UNSCHEDED
CONSTR	CONSTRUCTION	L	LONG, LENGTH	PT	POINT	VERT	VERTICAL
CONTR	CONTRACTOR	LAM	LAMINATE, LAMINATED	QTR	QUARTER	VERIF	VERIFY IN FIELD
CORP	CORPORATION	LCD	LIQUID CRYSTAL DISPLAY	R	RADIUS	W	WIDTH
DBL	DOUBLE	LF	LINEAR FOOT, LINEAL FOOT	RF	ROOF DRAIN	W/	WITH
DIAM	DIAMETER	LQ	LIQUID	R	RADIUS	W/O	WITHOUT
DIM	DIMENSION	LTWT	LIGHT WEIGHT	RL	REFLECTED CEILING PLAN	W/DW	WINDOW
DSL	DOUBLE	MAS	MASONRY	RECD	RECEIVED	WP	WATERPROOF
DWG	DRAWING	MAX	MAXIMUM	REFR	REFRIGERATION	WR	WATER RESISTANT
DS	DOWNSPOUT	MBS	METAL BUILDING SUPPLIER	REIN	REINFORCING	WT	WEIGHT
E	EACH	MECH	MECHANICAL	REQD	REQUIRED	W/F	WELDED WIRE FABRIC
ELEV	ELEVATION	METL	METAL				
E	ELECTRICAL	MFG	MANUFACTURING				
ENCL	ENCLOSURE	MFR	MANUFACTURER				
EQ	EQUAL						

ARCHITECTURAL SYMBOLS



LEGAL DESCRIPTION

PARCEL I:
OUTLOTS 18, 20, 21 AND 22 EXCEPT PART DESCRIBED IN CERTIFIED SURVEY MAP NO. 2063, RECORDED AS DOCUMENT NO. 1113314, IN PRAIRIE RIDGE, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4, NORTHWEST 1/4, SOUTHWEST 1/4, AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4, THE NORTHEAST 1/4, NORTHWEST 1/4, SOUTHWEST 1/4, SOUTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTHWEST 1/4, SOUTHWEST 1/4 AND SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, SAID LAND BEING IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN.

PARCEL II:
LOT 2 OF CERTIFIED SURVEY MAP NO. 2744 RECORDED FEBRUARY 28, 014 AS DOCUMENT NO. 1721909, BEING A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 2175, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN.

SCOPE OF WORK

THE FUELING FACILITY INCLUDES 3 ISLANDS WITH ONE DOUBLE SIDED FUEL DISPENSER EACH, ALL OWING FOR 12 AUTOMOBILE FUELING POSITIONS. THE FACILITY WOULD BE COVERED BY A 17'-6" HIGH CANOPY WITH COLOR AND SIGNAGE TO COORDINATE WITH THE MAIN BUILDING.

THE COMPUTERIZED CONTROLLER, WHICH RUNS THE PAYMENT, PUMPING, AND MONITORING SYSTEMS, IS HOUSED BY A SIX FOOT BY SEVENTEEN FOOT OWNER SUPPLIED STEEL UNIT PAINTED TO COORDINATE WITH THE MAIN WAREHOUSE. FUEL WILL BE STORED IN THREE DOUBLE WALLED, FIBERGLASS UNDERGROUND STORAGE TANKS.

THE CONTROL / MONITORING SYSTEM TO BE INSTALLED INCLUDES AN ALARM TIED INTO AN OWNER CONTRACTED 24 HOUR MONITORING SERVICE COMPANY. THE CONTINUOUS LEAK DETECTION SYSTEM WILL AUTOMATICALLY CHECK FOR FLUID LEAKS AND AUTOMATICALLY WILL STOP THE FLOW OF GASOLINE IN THE EVENT OF AN ALARM CONDITION.

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DATE	DESCRIPTION
8.26.14	OWNER APPROVAL
9.03.14	PERMIT ISSUE
9.03.14	BID ISSUE
9.03.14	BUILDING DEPT REVISIONS
	CONTRACT ISSUE
	PR #1
	AS-BUILT ISSUE

14-0006-02
PM: TRAVIS MORTON
DRAWN: JLH

TITLE SHEET

TSG-1

COSTCO WHOLESale CORPORATION

FUEL FACILITY

PLEASANT PRAIRIE, WISCONSIN CIVIL CONSTRUCTION DOCUMENTS



One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1469
414 / 259 1500
414 / 259 0037 fax
www.graef-usa.com

Sheet List Table

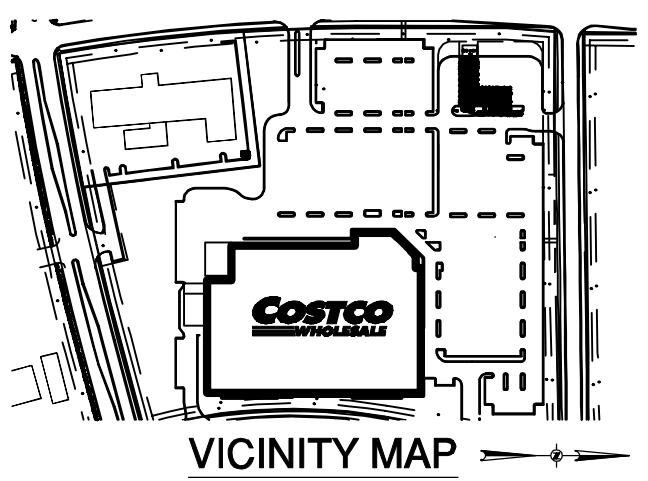
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	ALTA_ACSM LAND TITLE SURVEY
C3.0	DETAILED LAYOUT PLAN
C4.0	DETAILED GRADING PLAN
C5.0	DETAILED STORM SEWER PLAN
C9.1	SITE CONSTRUCTION DETAILS
C9.2	SITE CONSTRUCTION DETAILS
C9.3	SITE CONSTRUCTION DETAILS

PROJECT TITLE:

COSTCO WHOLESale CORPORATION
FUEL FACILITY
PLEASANT PRAIRIE, WISCONSIN

ISSUE:

NO.	DATE	REVISIONS	BY
	9/3/14	BID SET	JMH



VICINITY MAP

PROJECT INFORMATION:

PROJECT NUMBER: 20140079.00
DATE: 09/03/14
DRAWN BY: SRK
CHECKED BY: JMH
APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: C:\00_C0_COVER_079

SHEET TITLE:

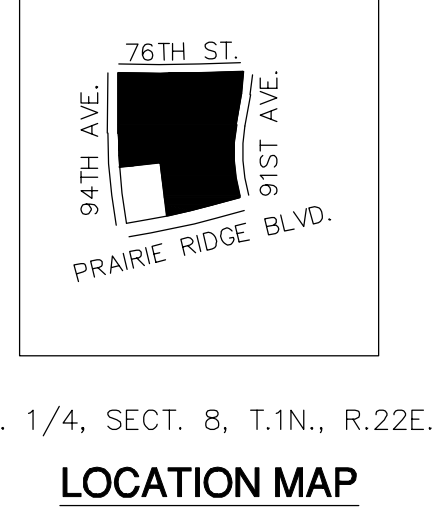
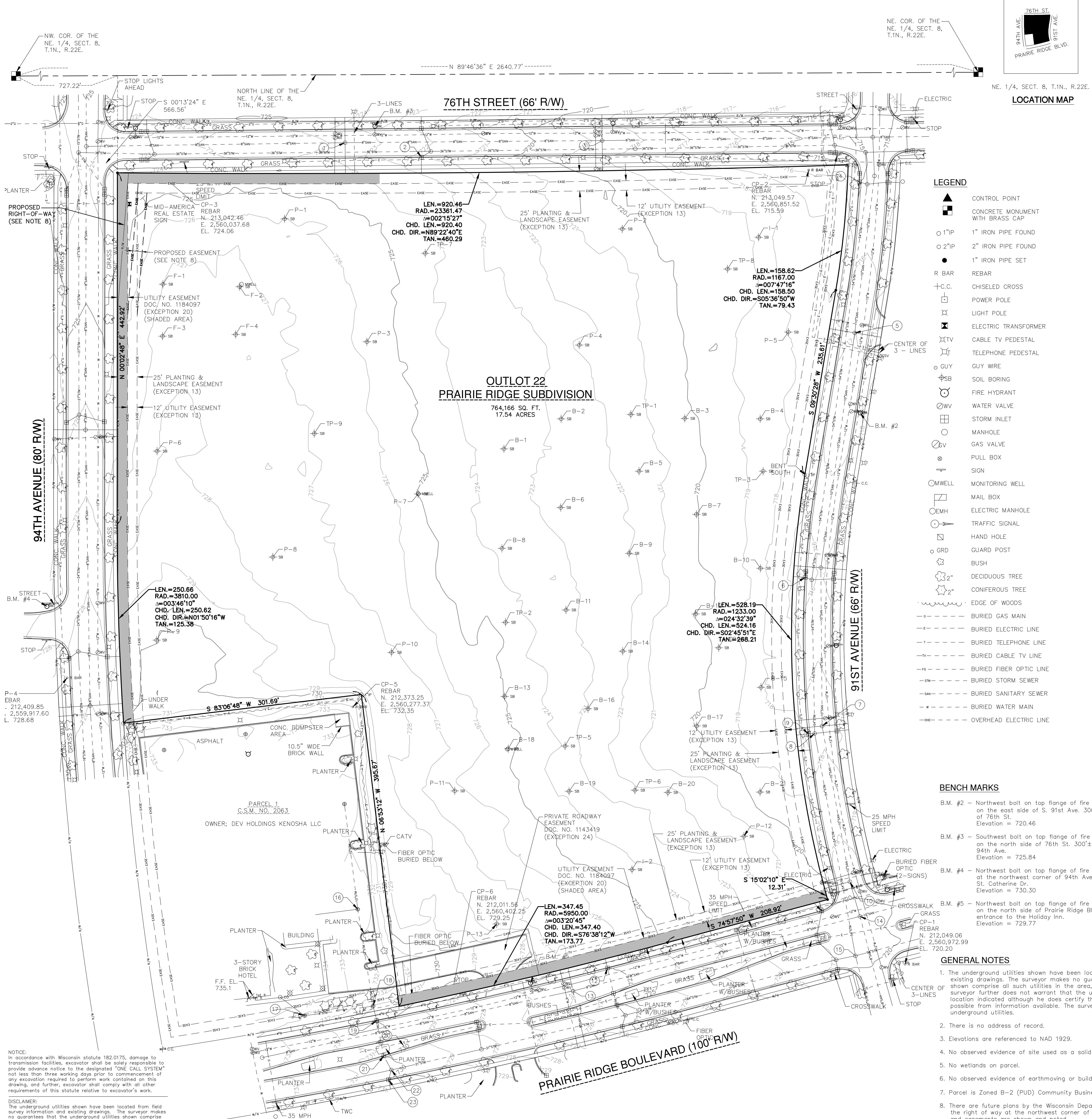
COVER SHEET

SHEET NUMBER:

C0.0

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.



LEGEND

- ▲ CONTROL POINT
- CONCRETE MONUMENT WITH BRASS CAP
- 1" IP 1" IRON PIPE FOUND
- 2" IP 2" IRON PIPE FOUND
- 1" IRON PIPE SET
- R BAR REBAR
- + C.C. CHISELED CROSS
- POWER POLE
- LIGHT POLE
- ⊠ ELECTRIC TRANSFORMER
- ⊠ TV CABLE TV PEDESTAL
- ⊠ TELEPHONE PEDESTAL
- GUY GUY WIRE
- SB SOIL BORING
- FV FIRE HYDRANT
- WV WATER VALVE
- SI STORM INLET
- M MANHOLE
- GV GAS VALVE
- PULL BOX
- SIGN
- MW MONITORING WELL
- MB MAIL BOX
- EMH ELECTRIC MANHOLE
- TS TRAFFIC SIGNAL
- HH HAND HOLE
- GRD GUARD POST
- B BUSH
- D DECIDUOUS TREE
- C CONIFEROUS TREE
- E EDGE OF WOODS
- G BURIED GAS MAIN
- B BURIED ELECTRIC LINE
- T BURIED TELEPHONE LINE
- C BURIED CABLE TV LINE
- F BURIED FIBER OPTIC LINE
- SW BURIED STORM SEWER
- SS BURIED SANITARY SEWER
- W BURIED WATER MAIN
- OE OVERHEAD ELECTRIC LINE

BENCH MARKS

- B.M. #2 - Northwest bolt on top flange of fire hydrant on the east side of S. 91st Ave. 300'± south of 76th St. Elevation = 720.46
- B.M. #3 - Southwest bolt on top flange of fire hydrant on the north side of 76th St. 300'± east of 94th Ave. Elevation = 725.84
- B.M. #4 - Northwest bolt on top flange of fire hydrant at the northwest corner of 94th Ave. and St. Catherine Dr. Elevation = 730.30
- B.M. #5 - Northwest bolt on top flange of fire hydrant on the north side of Prairie Ridge Blvd. at the entrance to the Holiday Inn. Elevation = 729.77

GENERAL NOTES

1. The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.
2. There is no address of record.
3. Elevations are referenced to NAD 1929.
4. No observed evidence of site used as a solid waste dump, sump or sanitary landfill.
5. No wetlands on parcel.
6. No observed evidence of earthmoving or building construction.
7. Parcel is Zoned B-2 (PUD) Community Business District.
8. There are future plans by the Wisconsin Department of Transportation to adjust the right of way at the northwest corner of the site. The proposed right of way and easements are shown and noted.

LEGAL DESCRIPTION

PARCEL I:
Outlots 18, 20, 21 and 22 except part described in Certified Survey Map No. 2063, recorded as Document No. 1113314, in Prairie Ridge, being a subdivision of part of the Northeast 1/4, Northwest 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4, the Northeast 1/4, the Northwest 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4, the Northeast 1/4, Northwest 1/4, Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 8, Township 1 North, Range 22 East of the Fourth Principal Meridian, Said land being in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

PARCEL II:
Lot 2 of Certified Survey Map No. 2744 recorded February 28, 2014 as Document No. 1721909, being a subdivision of Parcel 1 of Certified Survey Map No. 2175, being part of the Northeast 1/4 of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

SCHEDULE B PER COMMITMENT

- NO. NCS-665586-WA1 DATED 4/22/14**
- 1-10. Not survey related.
 11. Easement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin as Document No. 526051. (Does not affect this parcel)
 12. Covenants, conditions, restrictions, easements, notations, setbacks, access limitation, wetland conservancy areas, stormwater detention easements and restricted stormwater detention areas as shown on the recorded plat and Certified Survey Map Nos. 2063, 2175 and 2744 and Surveyors Affidavit of Correction recorded in the Office of the Register of Deeds for Kenosha County, Wisconsin on April 25, 2002, as Document No. 1265279. (Affects this parcel).
 13. Declaration of Development Standards and Protective Covenants recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, as Document No. 1088729; along with First Amendment recorded as Document No. 1115848, and re-recorded as Document No. 1120380, along with Second Amendment recorded as Document No. 1170856 and re-recorded as Document No. 1175268; along with Third Amendment recorded as Document No. 1175267; along with Fourth Amendment recorded as Document No. 1614310. (Affects parcel as shown).
 14. Not survey related.
 15. Not survey related.
 16. Memorandum of Development Agreement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin as Document No. 1035830. (Affects parcel, unable to plot).
 17. Memorandum of Agreement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, as Document No. 1075619. (Affects parcel, unable to plot).
 18. Not survey related.
 19. Utility Easement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin as Document No. 1071378. (Does not affect parcel).
 20. Easement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin as Document No. 1184097. (Affects parcel as shown).
 21. Covenants, conditions, easements and restrictions contained in Private Roadway and Access Easement recorded as Document No. 1133398. (Does not affect parcel).
 22. Not survey related.
 23. Driveway Easement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, as Document No. 1245842. (Does not affect parcel).
 24. Private Roadway Easement recorded in the office of the Register of Deeds for Kenosha County, Wisconsin as Document No. 1143419. (Affects parcel as shown).
 25. Affidavit of Correction correcting the following Dedicated Public Pedestrian Walkway easement indicated over Outlots 8 and 9, Prairie Ridge Subdivision to read Dedicated Public Bike Path, recorded in the office of the Register of Deeds for Kenosha County, Wisconsin on March 01, 2005, in Volume, at Page, as Document No. 1423804. (Does not affect parcel).
 26. Not survey related.
 27. Not survey related.
 28. Not survey related.
 29. Not survey related.

REFERENCE BEARING

All bearings are referenced to the North line of the Northeast 1/4 of Section 8, T.1N., R.22E, which bears N.89°46'36"E, and is referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone.

FLOOD ZONE CERTIFICATION

To Costco Wholesale Corporation, First American Title Insurance Company:
Location - Pleasant Prairie, Wisconsin
I hereby certify that the Pleasant Prairie project, shown hereon does not lie within a special flood zone hazard zone according to Parcel 183 of the Flood Insurance Rate map No. 50509C183D dated June 19, 2012 and noted as Zone X.

SURVEYORS CERTIFICATE

STATE OF WISCONSIN }
COUNTY OF MILWAUKEE }

To: Costco Wholesale Corporation, a Washington Corporation, First American Title Company,
Location - Pleasant Prairie, Wisconsin

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6, 7a, 8, 9, 10, 11a, 13, 14, 15, 16, 17, 18, 19 and 21 of Table A thereof. The field work was completed on 5/30/14.
Date: 06-20-14

Michael J. Ratzburg S-2236

PROJECT TITLE:
COSTCO WHOLESALE CORPORATION
WAREHOUSE
PLEASANT PRAIRIE, WISCONSIN

NO.	DATE	REVISIONS	ISSUE BY
	9/3/14	BID SET	JMH

PROJECT INFORMATION:

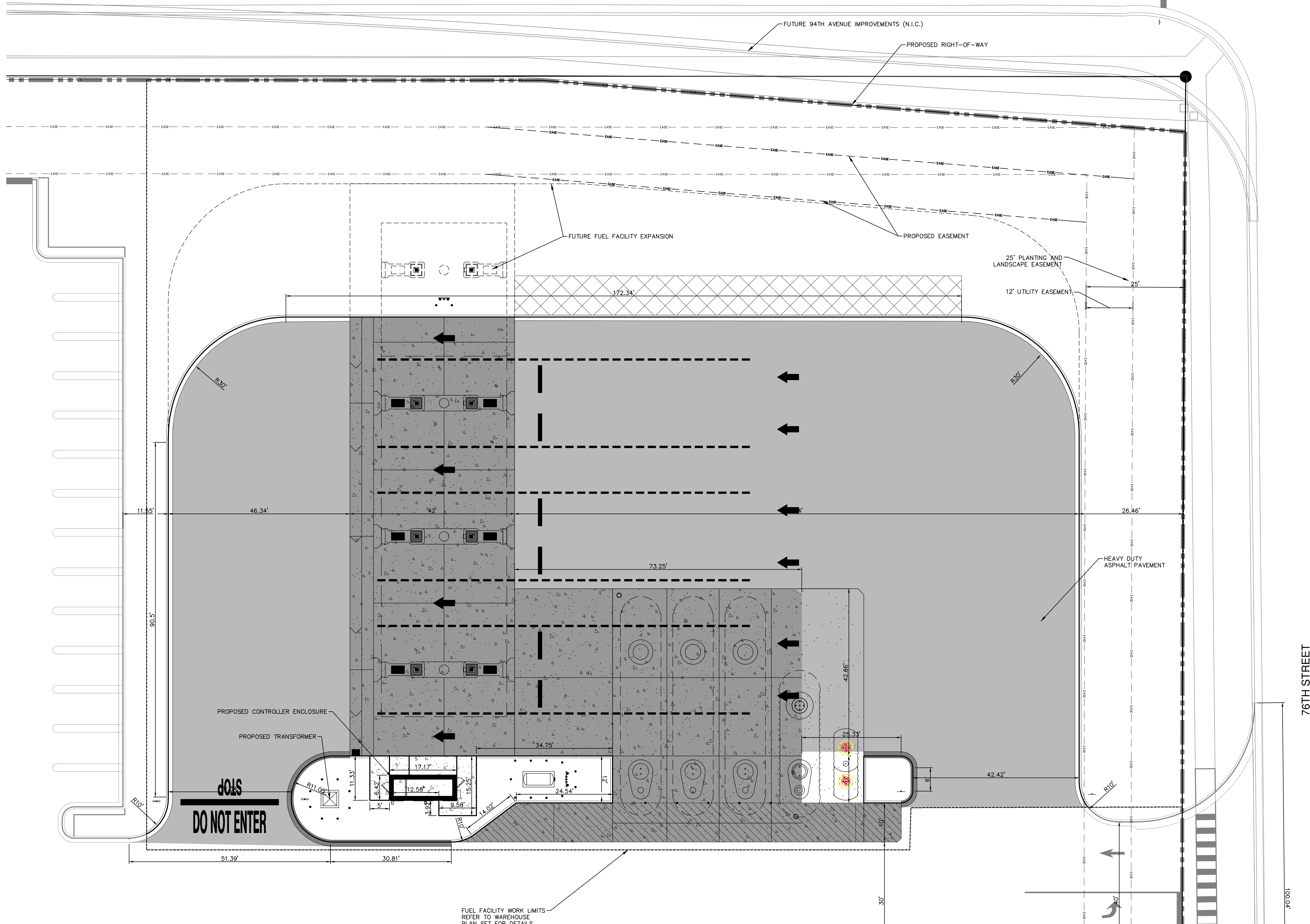
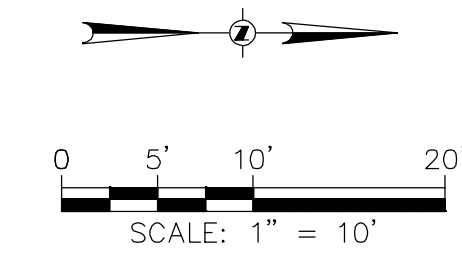
PROJECT NUMBER: 20140079.00
DATE: 09/03/14
DRAWN BY: SRK
CHECKED BY: JMH
APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: C:\00_C1_ALTA01_079

SHEET TITLE:
ALTA/ACSM LAND TITLE SURVEY

SHEET NUMBER:

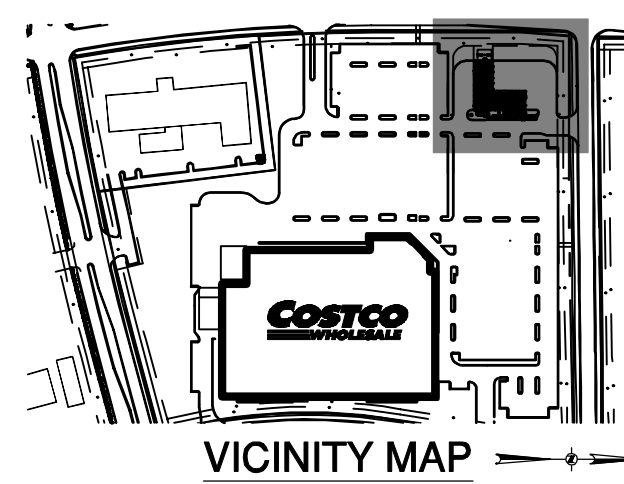
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PROJECT TITLE:
COSTCO WHOLESALE CORPORATION
FUEL FACILITY
PLEASANT PRAIRIE, WISCONSIN

ISSUE:
NO. DATE REVISIONS BY
9/3/14 BID SET JMH



PROJECT INFORMATION:
PROJECT NUMBER: 20140079.00
DATE: 09/03/14
DRAWN BY: SRK
CHECKED BY: JMH
APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: C:\00_C3_SITELAYOUT_079

SHEET TITLE:
DETAILED LAYOUT PLAN

SHEET NUMBER:

C3.0

LEGEND

- PROPOSED SNOW STORAGE
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED HIGHSIDE CONCRETE CURB AND GUTTER
- PROPOSED PROPERTY LINE

LAYOUT NOTES

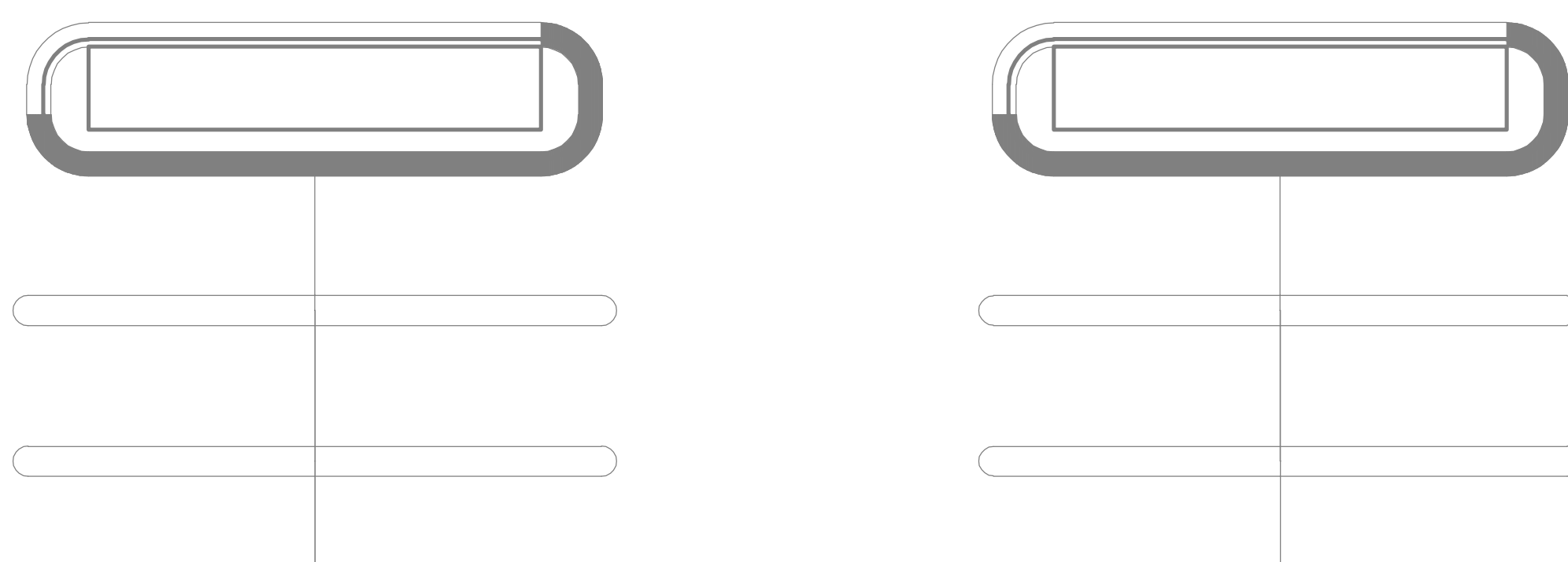
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE.
2. STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.

GENERAL NOTES

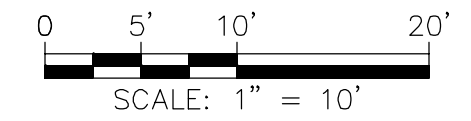
1. UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON FIELD SURVEY. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET C1.0 FOR BENCHMARKS, ELEVATION DATUM, AND TOPOGRAPHIC ELEMENTS.
3. REFER TO SHEET AG-5 FOR DETAILS OF CONSTRUCTION FOR PAVEMENT MARKING, BOLLARDS, CONCRETE GUTTER SWALE, AND JOINTING IN CONCRETE PAD.

NOTICE:
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FUEL FACILITY WORK LIMITS
REFER TO WAREHOUSE
PLAN SET FOR DETAILS
OF CONSTRUCTION
BEYOND THESE LIMITS



LEGEND

- PROPOSED PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM SEWER
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED HIGHSIDE CONCRETE CURB & GUTTER
- PROPOSED MANHOLE
- PROPOSED STORM INLET
- PROPOSED TOP OF CURB ELEVATION
-PROPOSED FLANGE ELEVATION
- PROPOSED SPOT GRADE
- PROPOSED FINISHED GRADE AT TOP OF WALL
-PROPOSED FINISHED GRADE AT BOTTOM OF WALL

GENERAL NOTES

- THE BASE SURVEY WAS PREPARED BY GRAEF IN MAY 2014. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.

GRADING NOTES

- ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
- RIM ELEVATIONS IN CURB AND GUTTER ARE FLOWLINE/GUTTER GRADES.
- EROSION MATTING SHALL BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER.

GENERAL NOTES

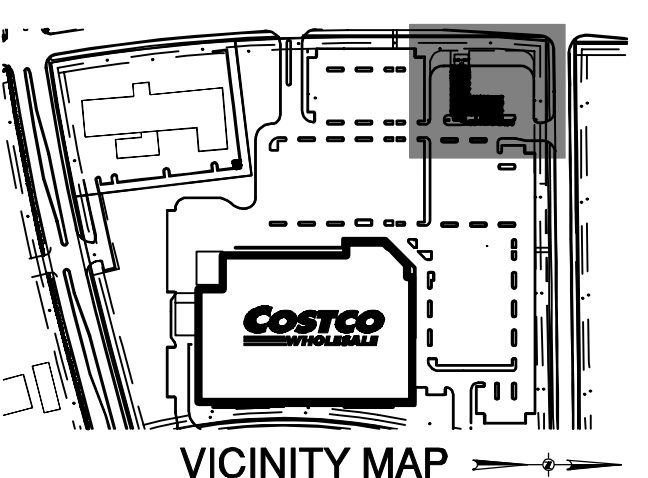
- THE BASE SURVEY WAS PREPARED BY THE SIGMA GROUP ON MAY 30, 2014. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
- A PERMIT SET SUBMITTAL WILL BE MADE TO THE VILLAGE PRIOR TO CONSTRUCTION TO PROVIDE REVIEW OF EROSION CONTROL, TREE REMOVALS, AND DETAILED UTILITY DESIGNS.

PROJECT TITLE:

COSTCO WHOLESALE CORPORATION
FUEL FACILITY
PLEASANT PRAIRIE, WISCONSIN

ISSUE:

NO.	DATE	REVISIONS	BY
	9/3/14	BID SET	JMH



PROJECT INFORMATION:

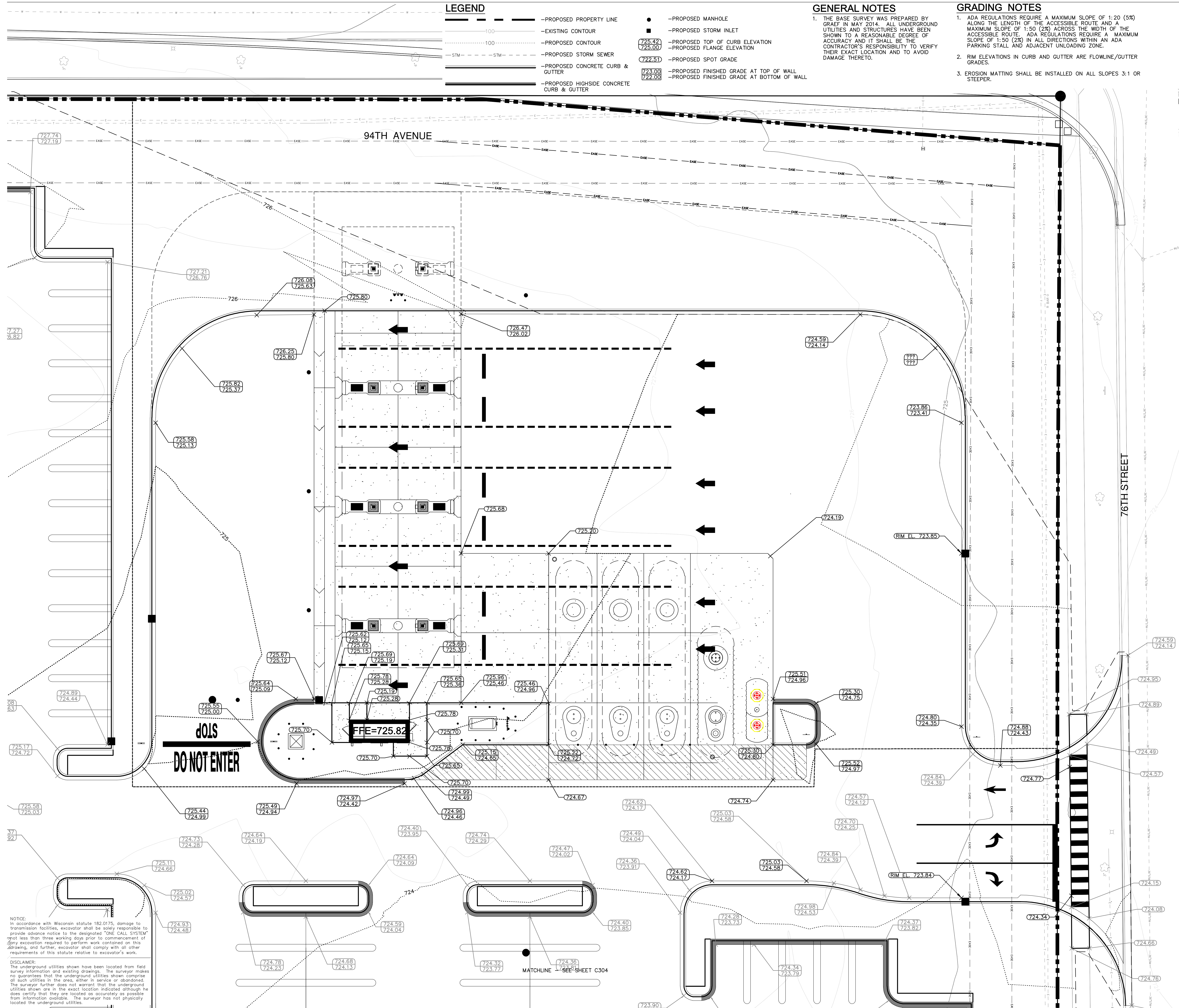
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DATE: 09/03/14
DRAWN BY: SRK
CHECKED BY: JMH
APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: C:\00_C4_SITEGRADING_079

SHEET TITLE:

DETAILED GRADING PLAN

SHEET NUMBER:

C4.0



NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL" SYSTEM not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

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94TH AVENUE

LEGEND

- - - - - PROPOSED PROPERTY LINE
- — — — — EXISTING CONTOUR
- PROPOSED CONTOUR
- - - - - STM
- - - - - DRAIN
-
-
- — — — — PROPOSED STORM SEWER
- - - - - PROPOSED UNDER DRAIN
-
-
- — — — — PROPOSED MANHOLE
-
- — — — — PROPOSED STORM INLET

GENERAL NOTES

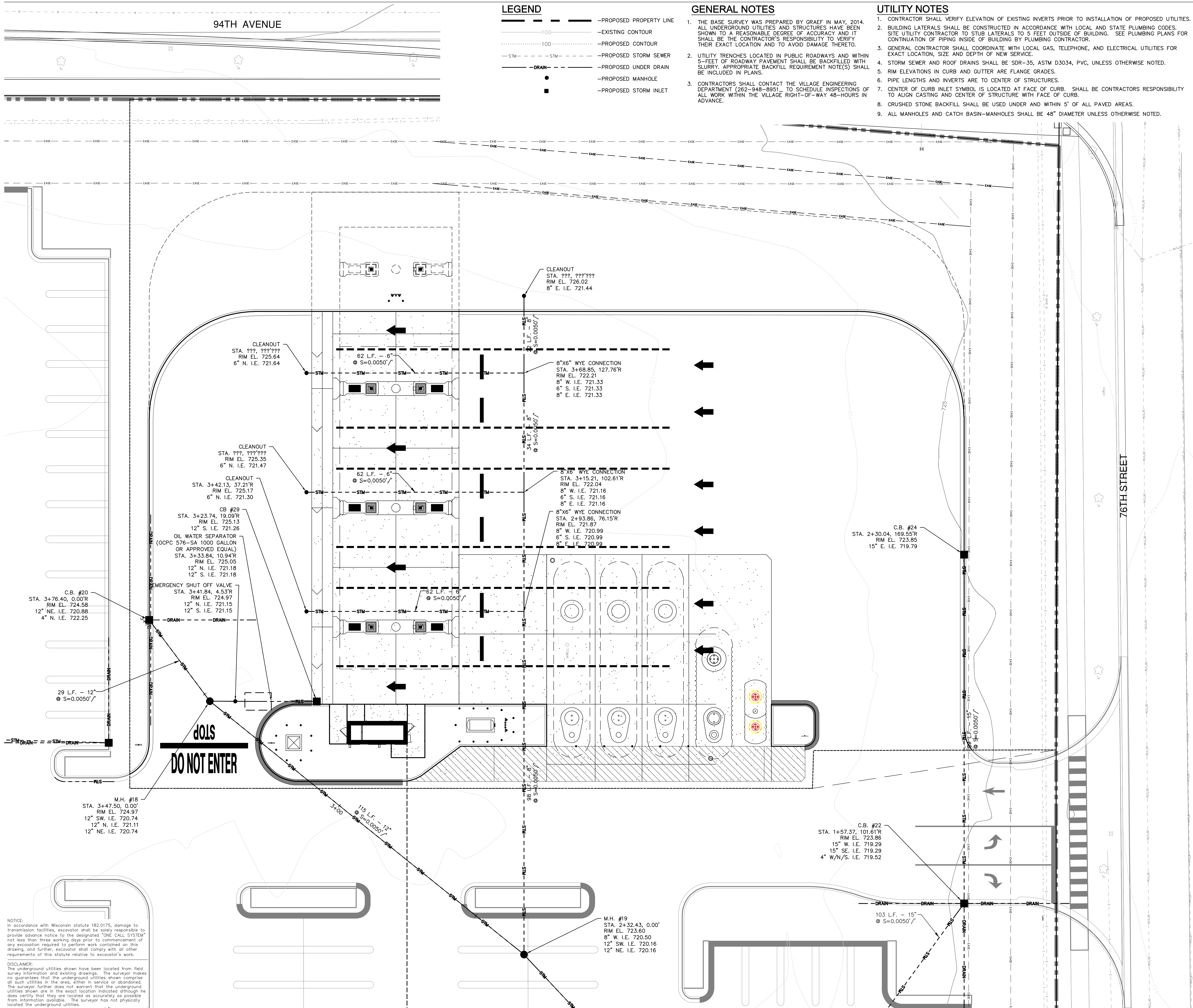
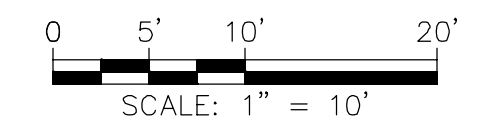
1. THE BASE SURVEY WAS PREPARED BY GRAEF IN MAY, 2014. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERE TO.
2. UTILITY TRENCHES LOCATED IN PUBLIC ROADWAYS AND WITHIN 5- FEET OF ROADWAY PAVEMENT SHALL BE BACKFILLED WITH SLURRY. APPROPRIATE BACKFILL REQUIREMENT NOTE(S) SHALL BE INCLUDED IN PLANS.
3. CONTRACTORS SHALL CONTACT THE VILLAGE ENGINEERING DEPARTMENT (262-948-8951) TO SCHEDULE INSPECTIONS OF ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY 48-HOURS IN ADVANCE.

UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR TO STUB LATERALS TO 5 FEET OUTSIDE OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION OF PIPING INSIDE OF BUILDING BY PLUMBING CONTRACTOR.
3. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
4. STORM SEWER AND ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
5. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
6. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
7. CENTER OF CURB INLET SYMBOL IS LOCATED AT FACE OF CURB. SHALL BE CONTRACTORS RESPONSIBILITY TO ALIGN CASTING AND CENTER OF STRUCTURE WITH FACE OF CURB.
8. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
9. ALL MANHOLES AND CATCH BASIN-MANHOLES SHALL BE 48" DIAMETER UNLESS OTHERWISE NOTED.

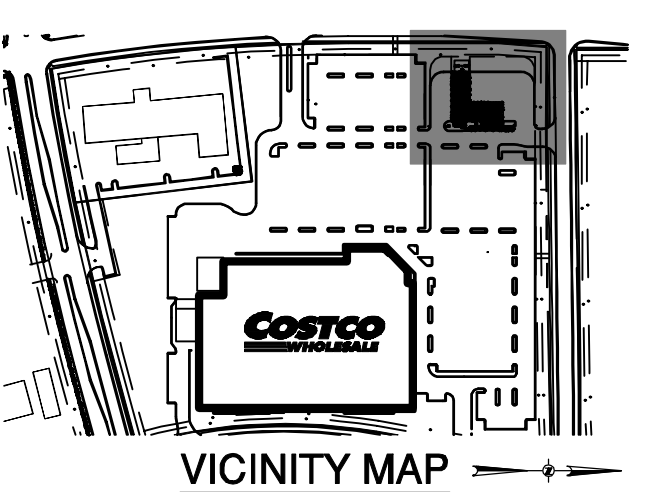


One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1469
414 / 259 1500
414 / 259 0037 fax
www.graef-usa.com



PROJECT TITLE:
COSTCO WHOLESALE CORPORATION
WAREHOUSE
PLEASANT PRAIRIE, WISCONSIN

NO.	DATE	REVISIONS	BY
	9/3/14	BID SET	JMH



PROJECT INFORMATION:
PROJECT NUMBER: 20140079.00
DATE: 09/03/14
DRAWN BY: SRK
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APPROVED BY: TMF
SCALE: AS NOTED
FILE PATH: C:\00_C5_STORM_079

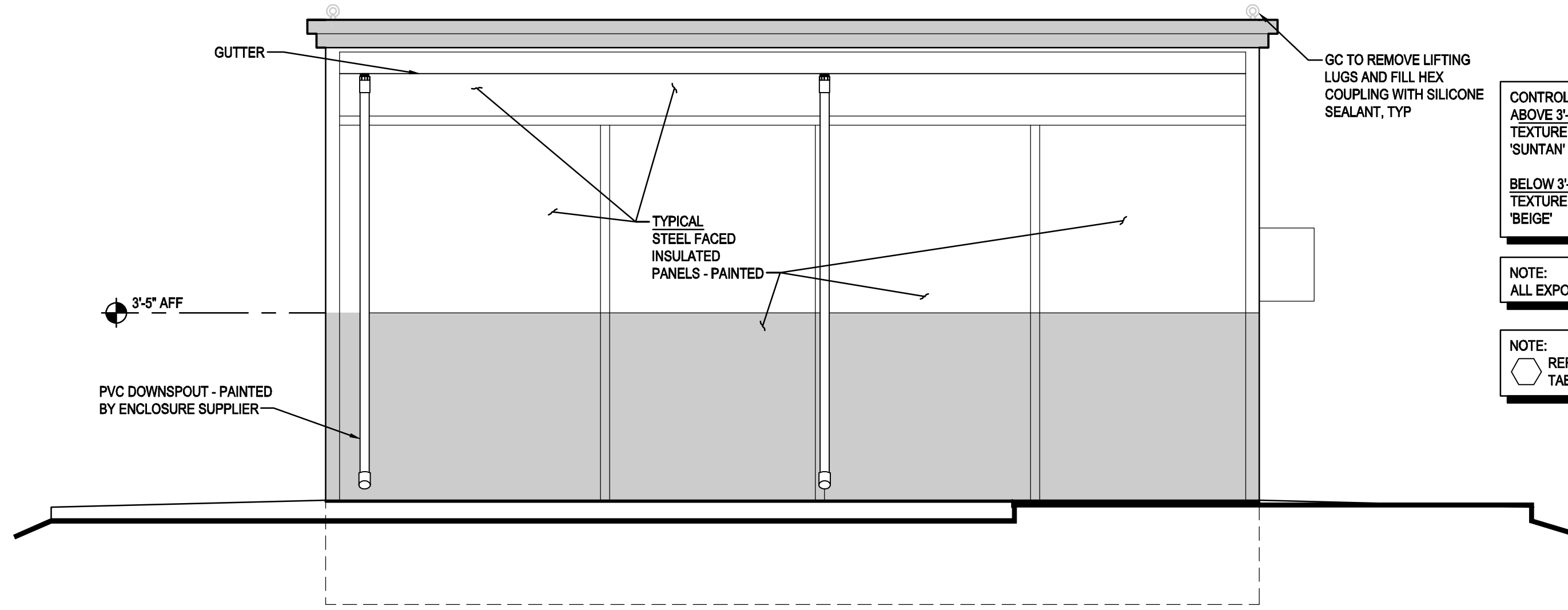
SHEET TITLE:
DETAILED STORM SEWER PLAN

SHEET NUMBER:
C5.0

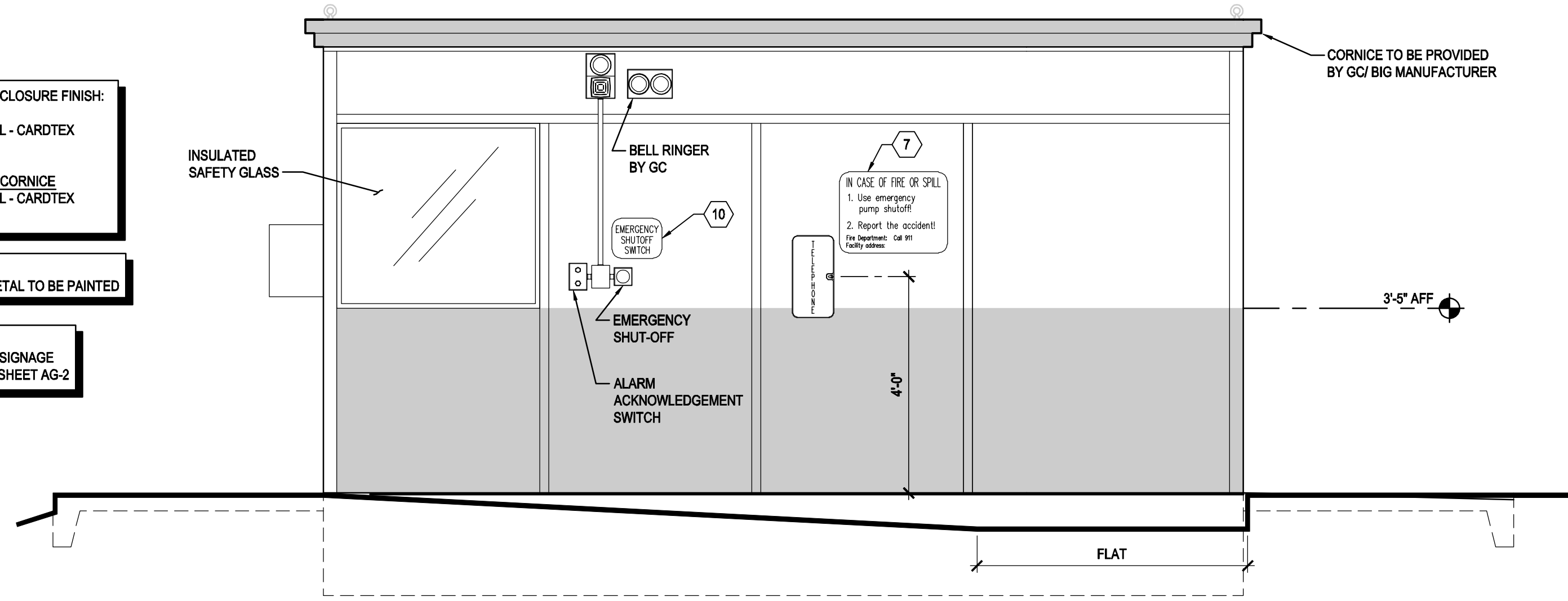
NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL" SYSTEM not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

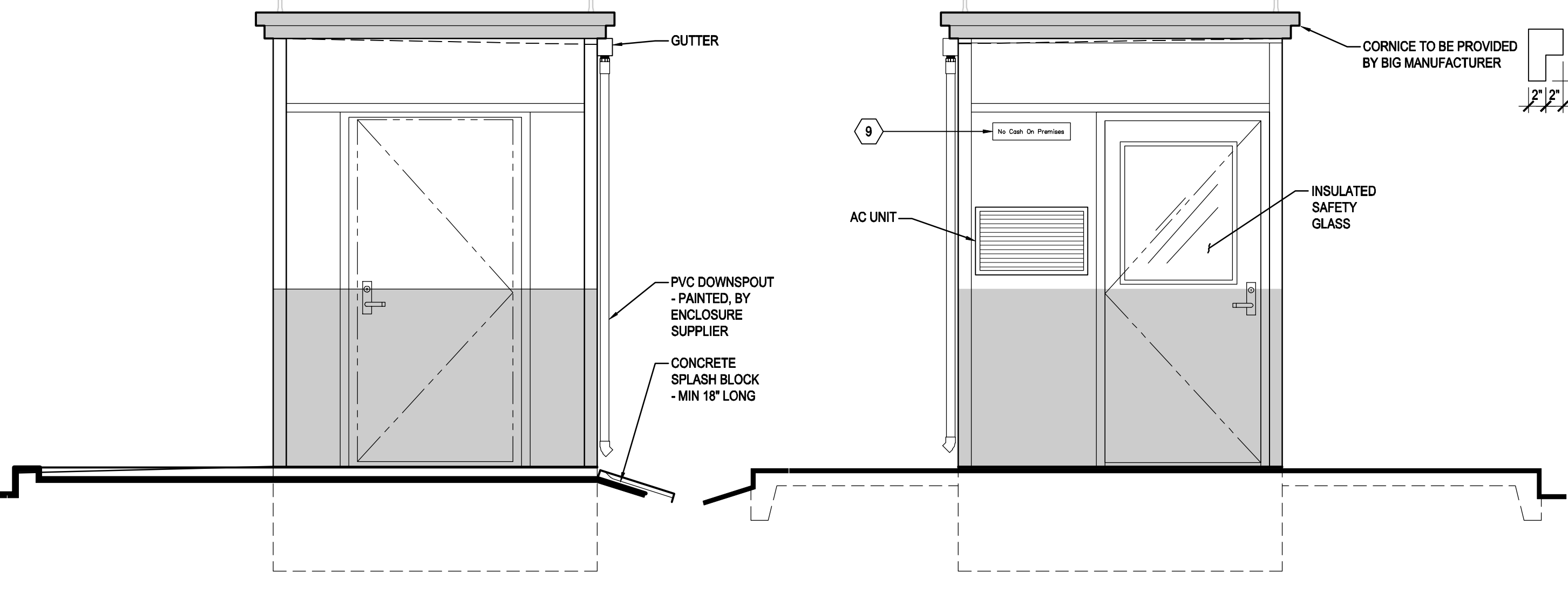
MASTER SET 08/24/21
 PLOTTED BY: ADRIAN HO DATE/TIME: 9/20/21 10:00 AM FILE: H:\RETAIL\COSTCO\1414-0006-02- PLEASANT PRAIRIE, WI - GAS STATION\07_CAD\0703_CONS\DWG\14000602-AG-4.DWG



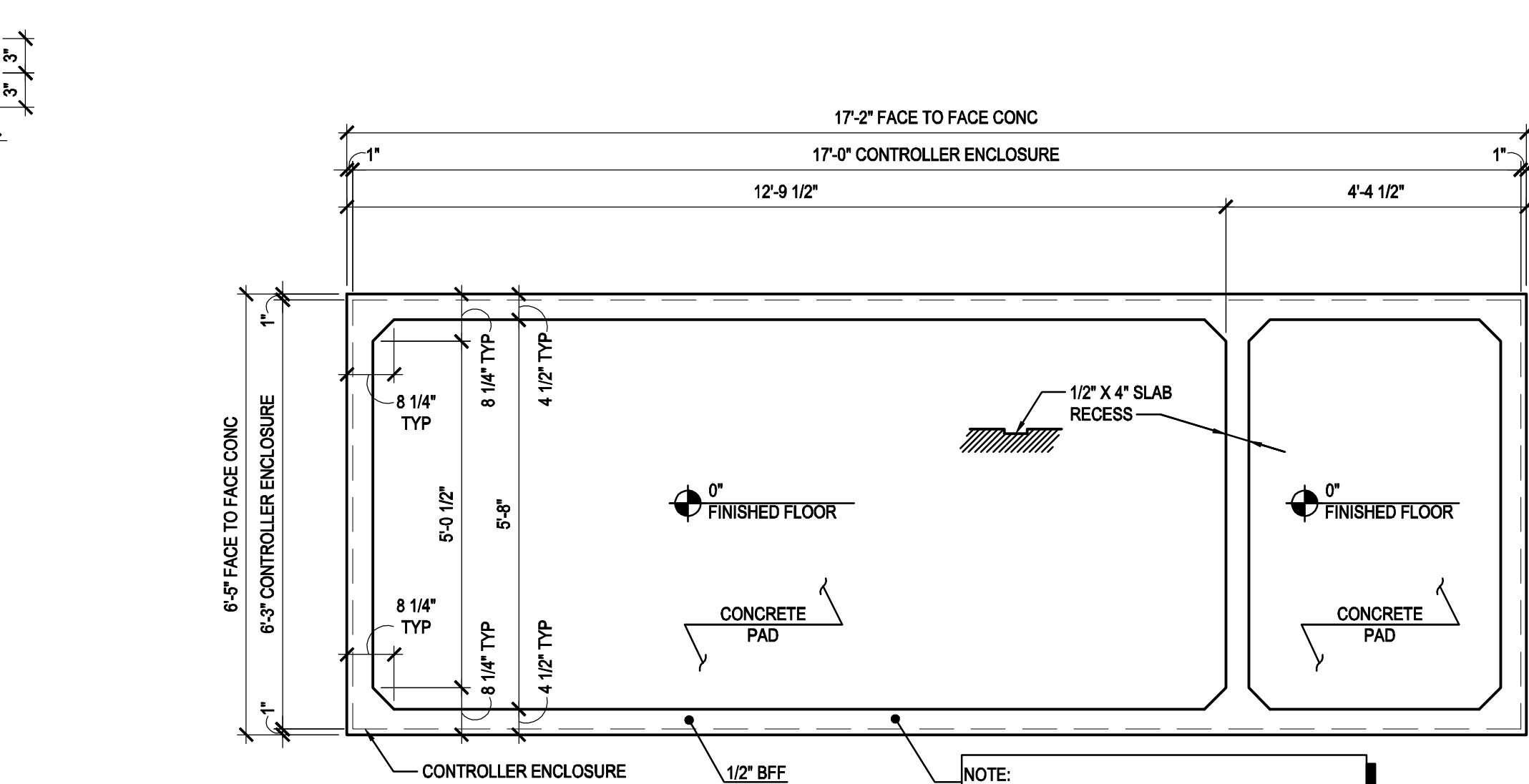
2 SIDE FACING AWAY FROM CANOPY
 SCALE: 1/2" = 1'-0" 0113



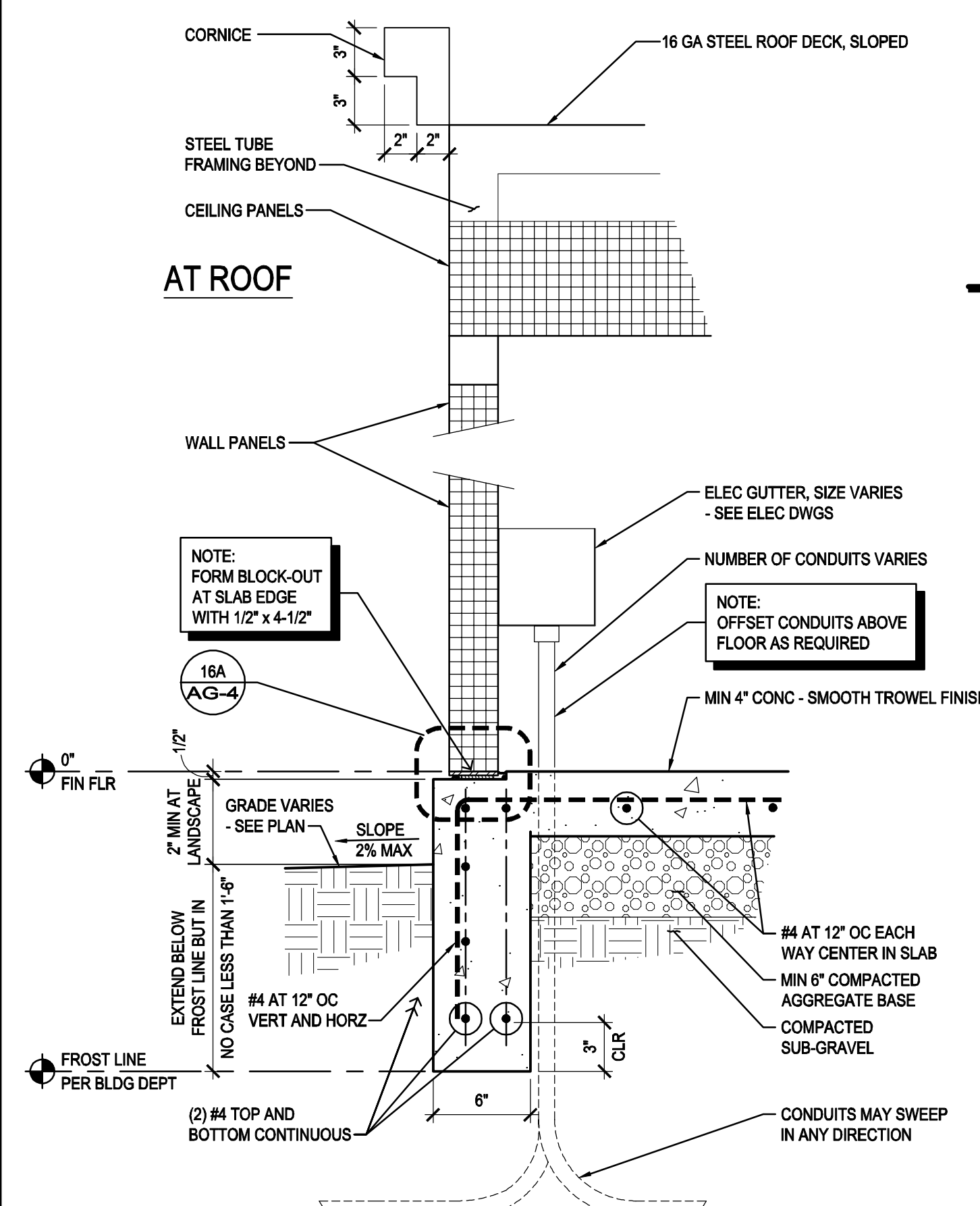
4 SIDE FACING CANOPY
 SCALE: 1/2" = 1'-0" 0113



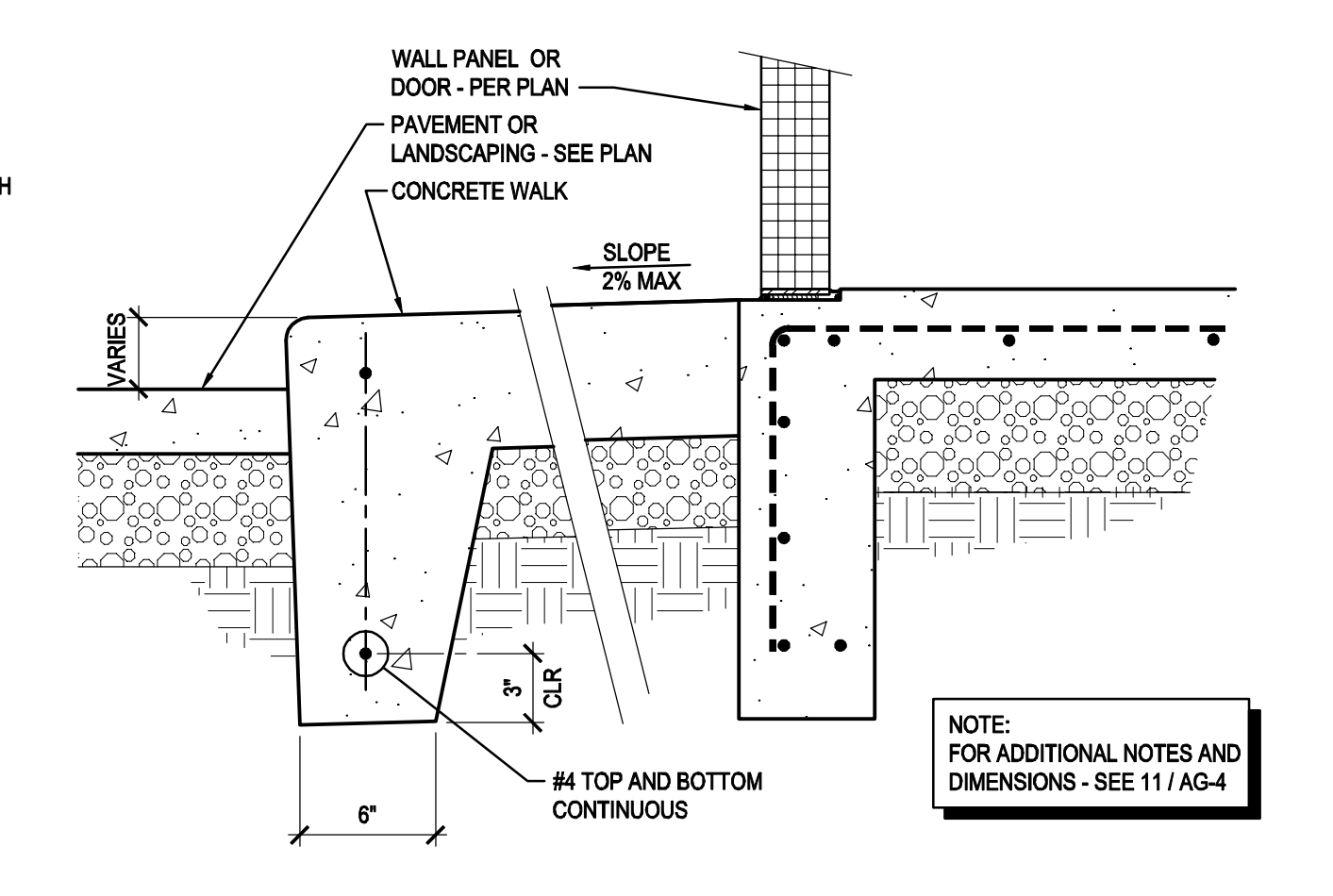
7 STORAGE ENTRY
 SCALE: 1/2" = 1'-0" 1212



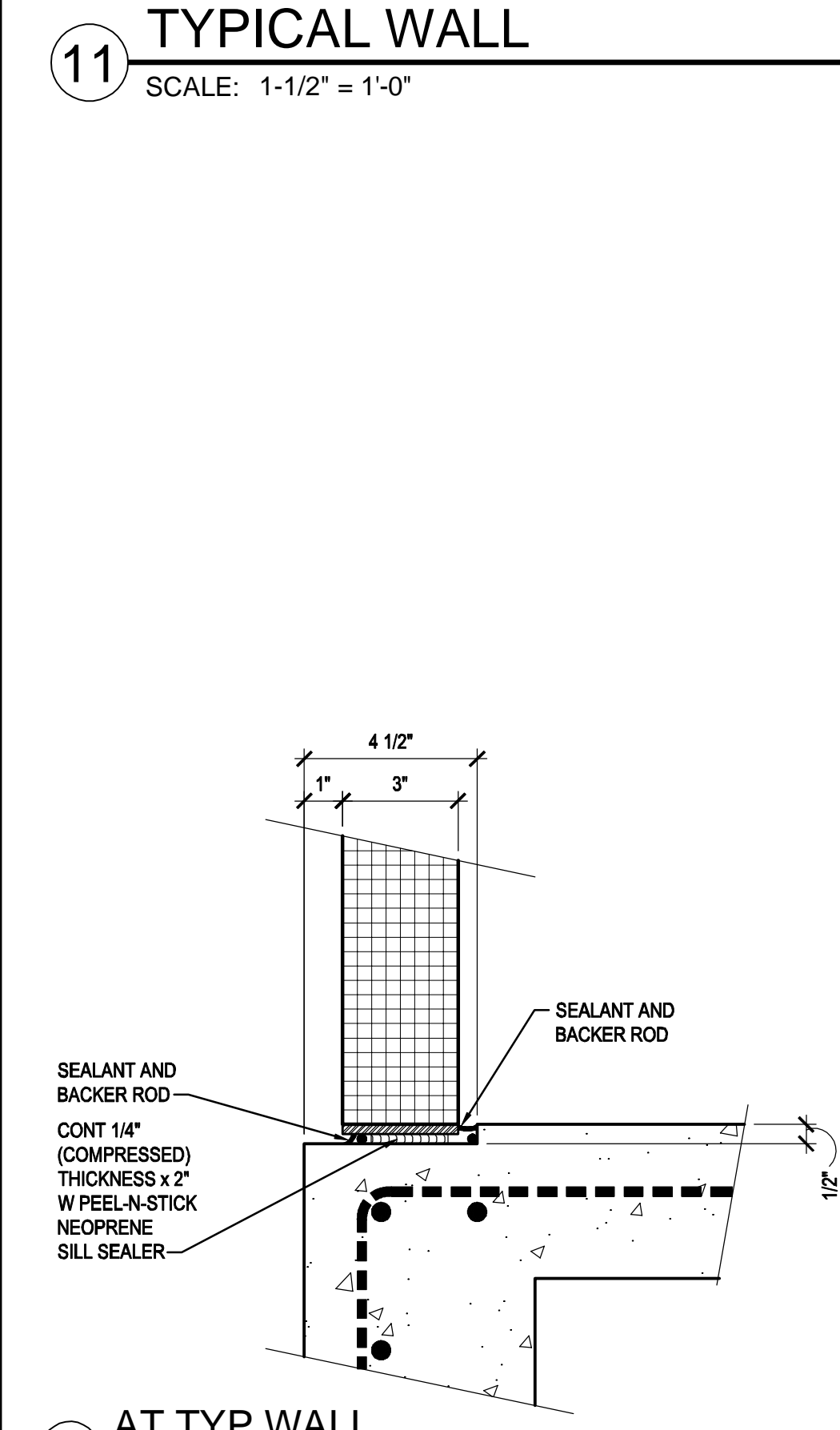
9 FOUNDATION PLAN
 SCALE: 1/2" = 1'-0" 0713



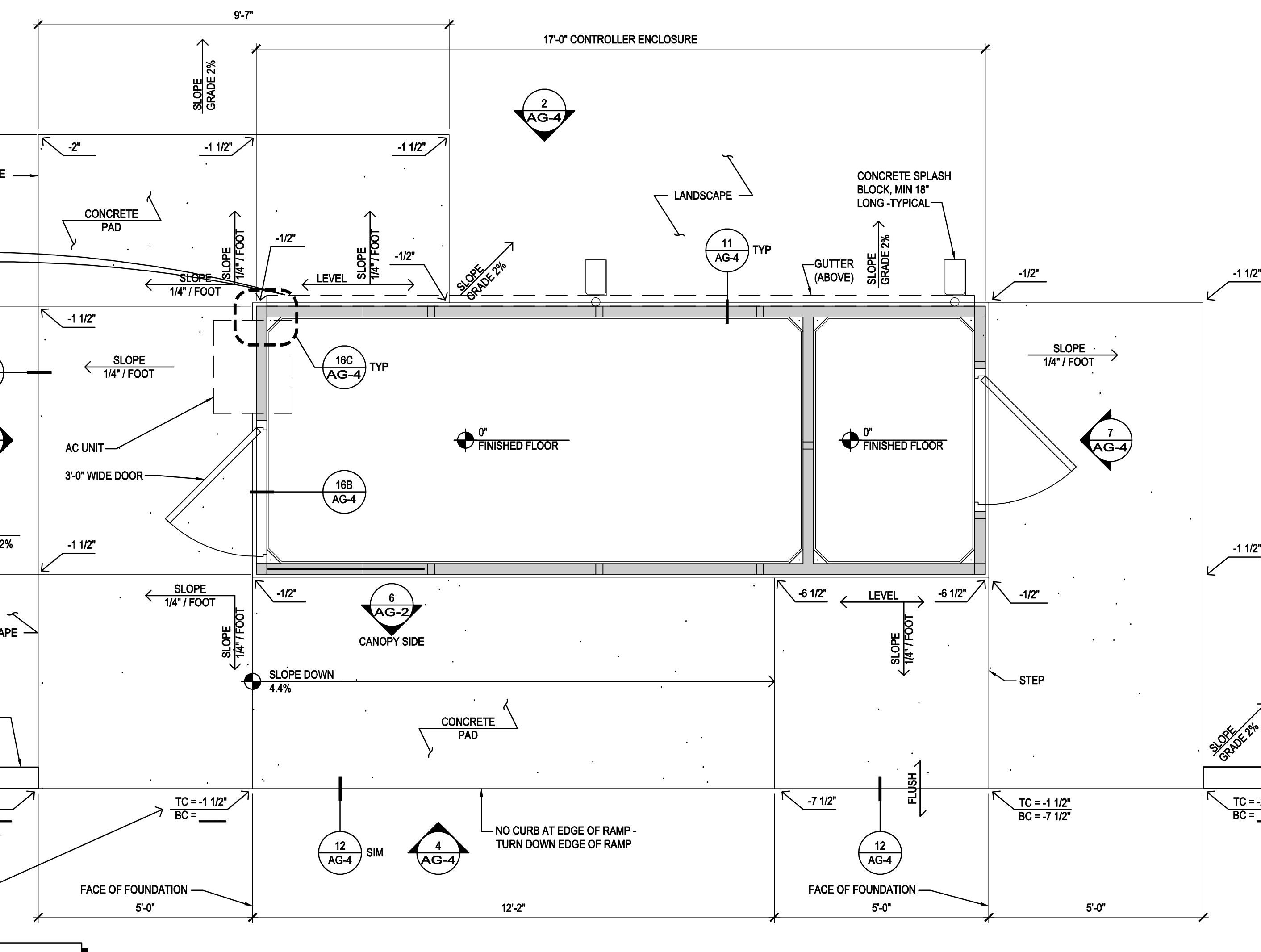
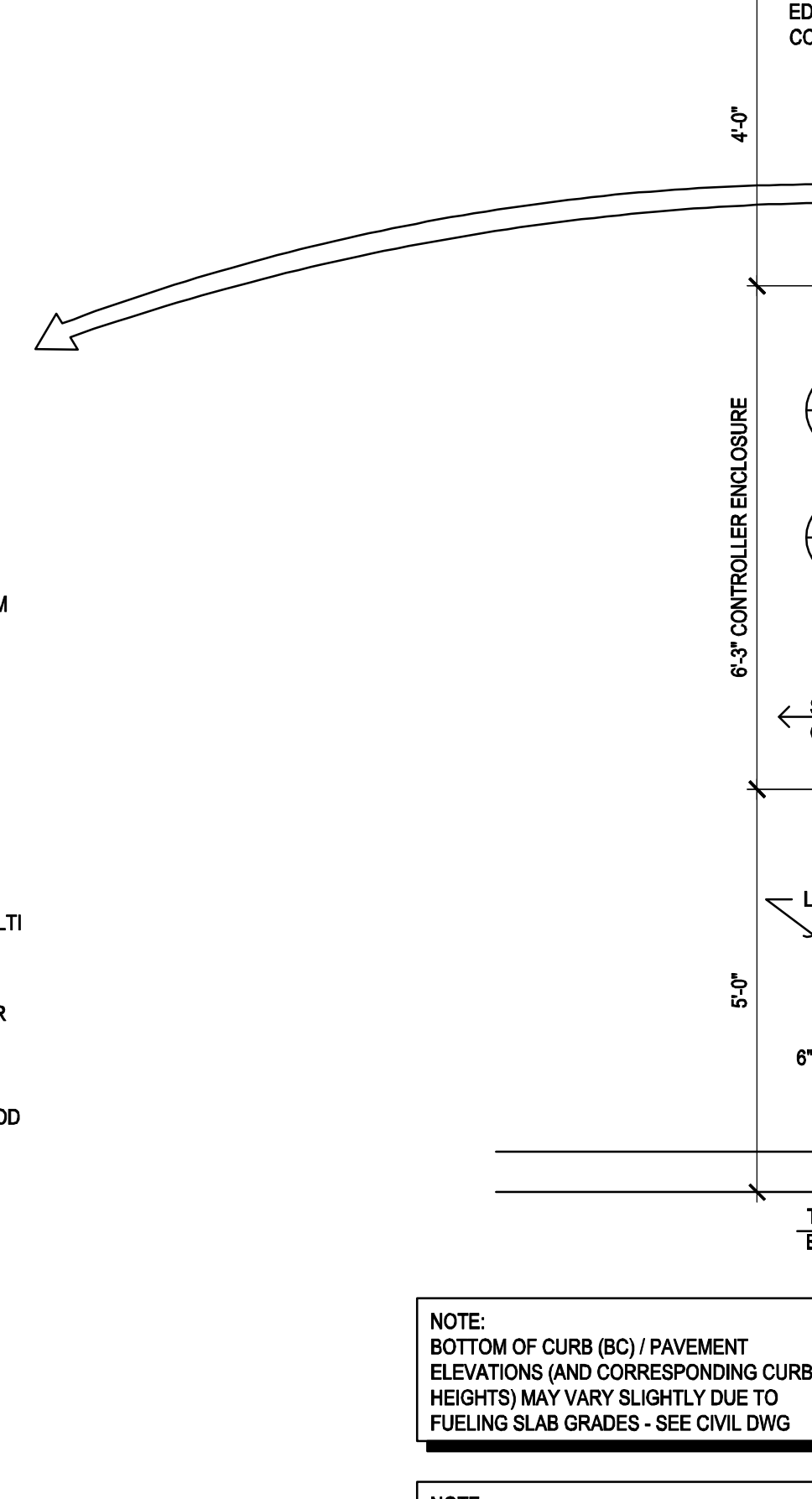
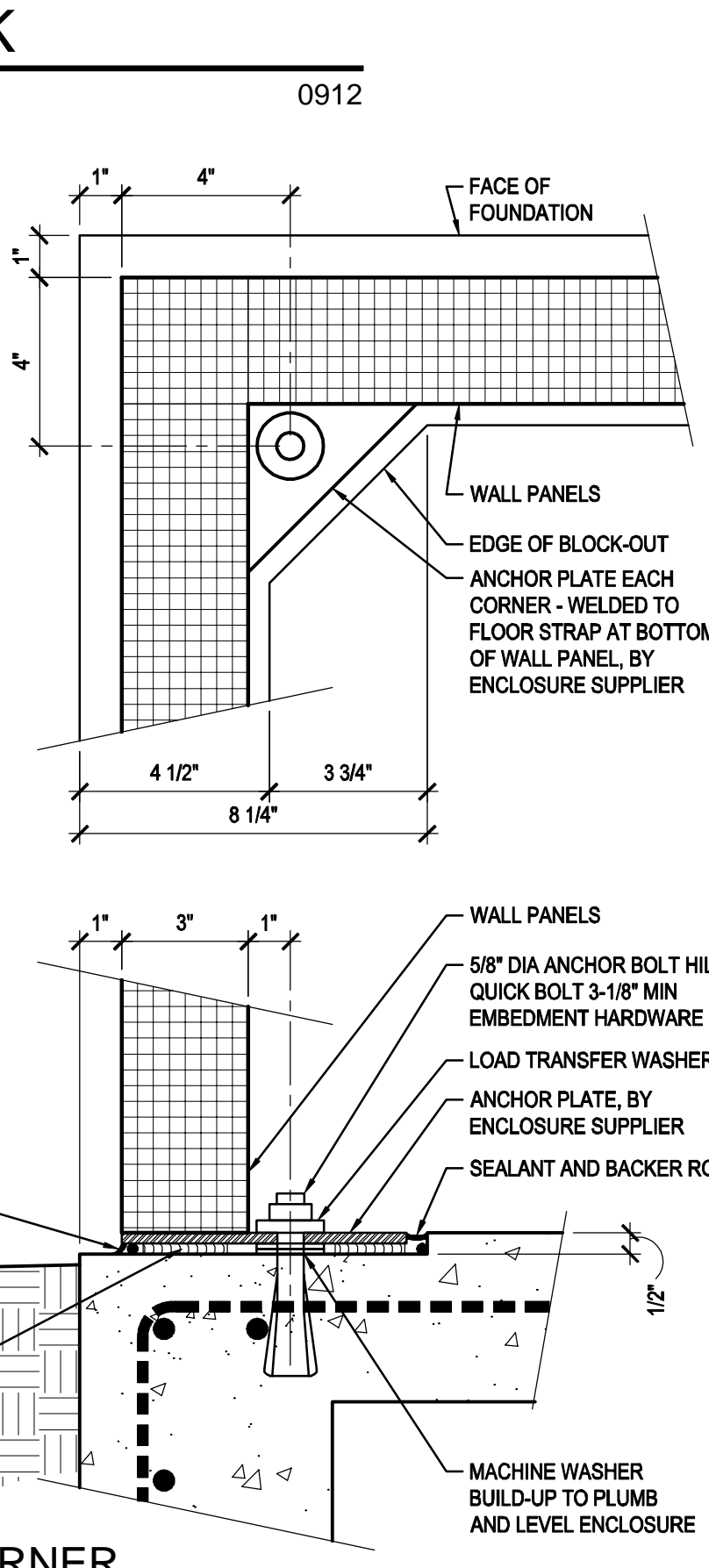
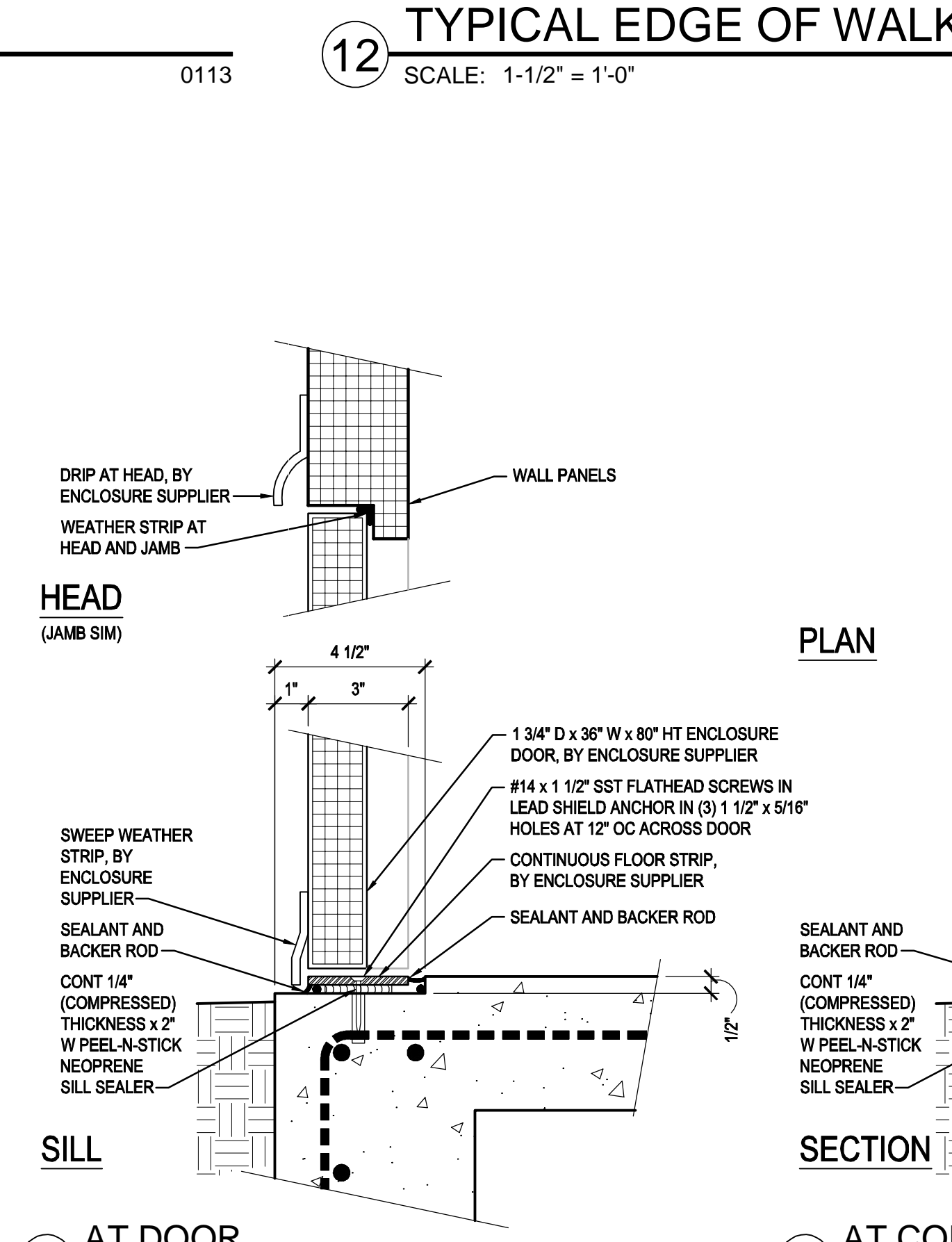
11 TYPICAL WALL
 SCALE: 1-1/2" = 1'-0" 0113



12 TYPICAL EDGE OF WALK
 SCALE: 1-1/2" = 1'-0" 0912



16 FOUNDATION BLOCK-OUT
 SCALE: 3" = 1'-0" 0912



19 CONTROLLER ENCLOSURE PLAN
 SCALE: 1/2" = 1'-0" 0413

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 MulvannyG2.com

BID SET

RUSSELL H. HAZZARD, ARCHITECT

DATE	DESCRIPTION
8.26.14	OWNER APPROVAL
9.03.14	PERMIT ISSUE
9.03.14	BID ISSUE
	BUILDING DEPT REVISIONS
	CONTRACT ISSUE
	PR #1
	AS-BUILT ISSUE

14-0006-02
 PM: TRAVIS MORTON
 DRAWN: JLH

CONTROLLER ENCLOSURE PLAN, ELEVATIONS AND DETAILS
AG-4